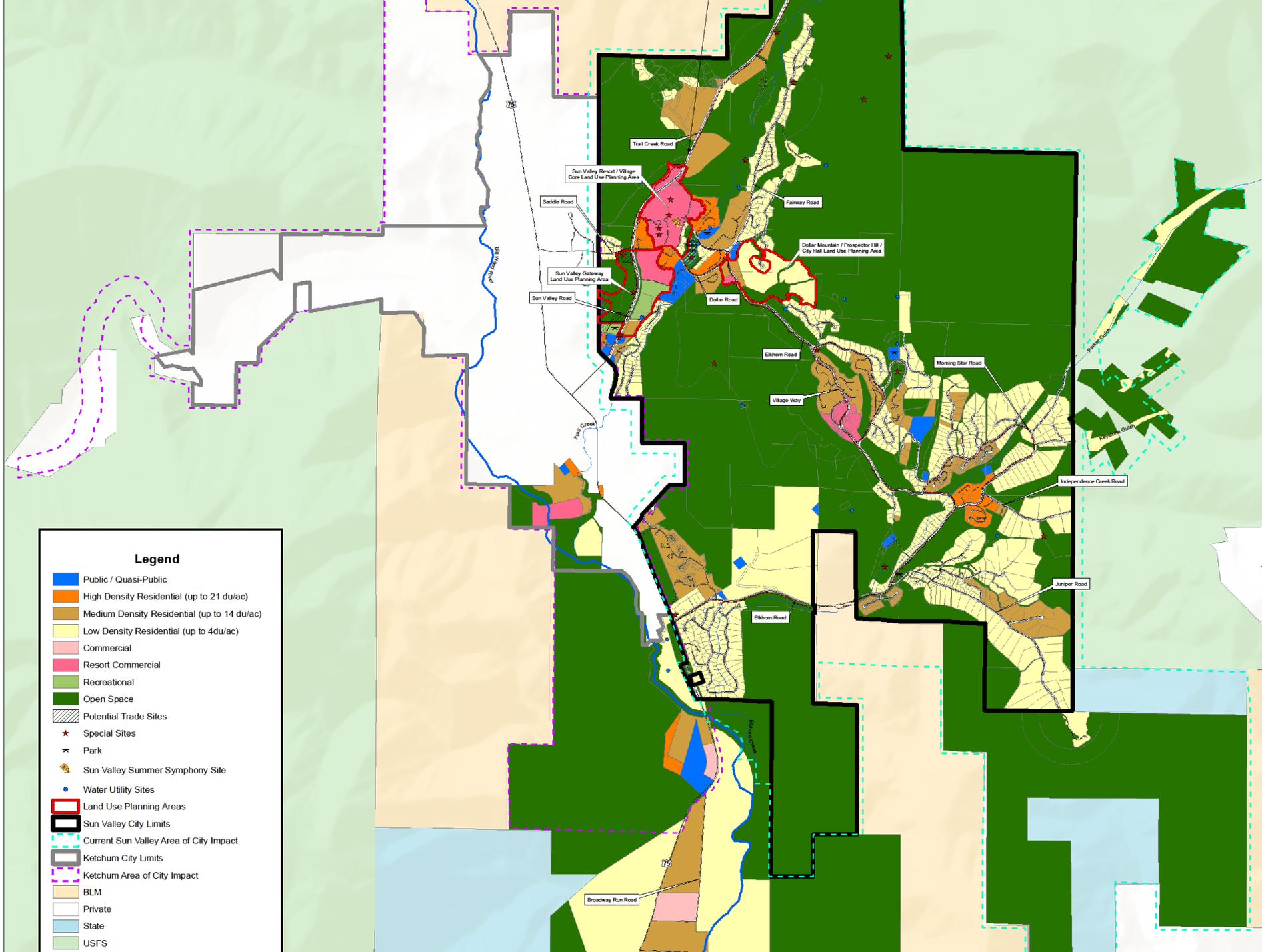


Comp Plan Work Session

August 6, 2015

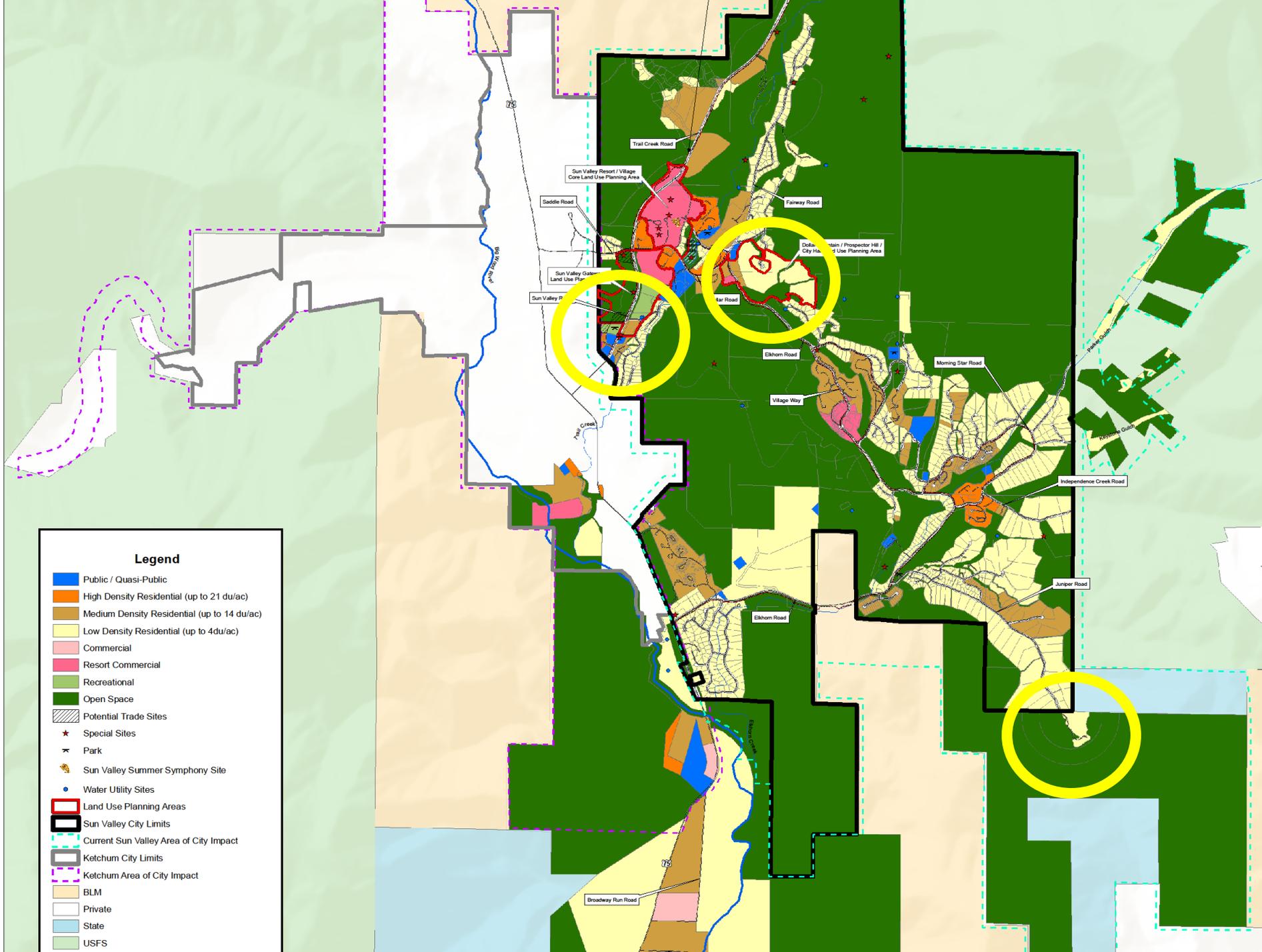
Legend

- Public / Quasi-Public
- High Density Residential (up to 21 du/ac)
- Medium Density Residential (up to 14 du/ac)
- Low Density Residential (up to 4du/ac)
- Commercial
- Resort Commercial
- Recreational
- Open Space
- Potential Trade Sites
- Special Sites
- Park
- Sun Valley Summer Symphony Site
- Water Utility Sites
- Land Use Planning Areas
- Sun Valley City Limits
- Current Sun Valley Area of City Impact
- Ketchum City Limits
- Ketchum Area of City Impact
- BLM
- Private
- State
- USFS



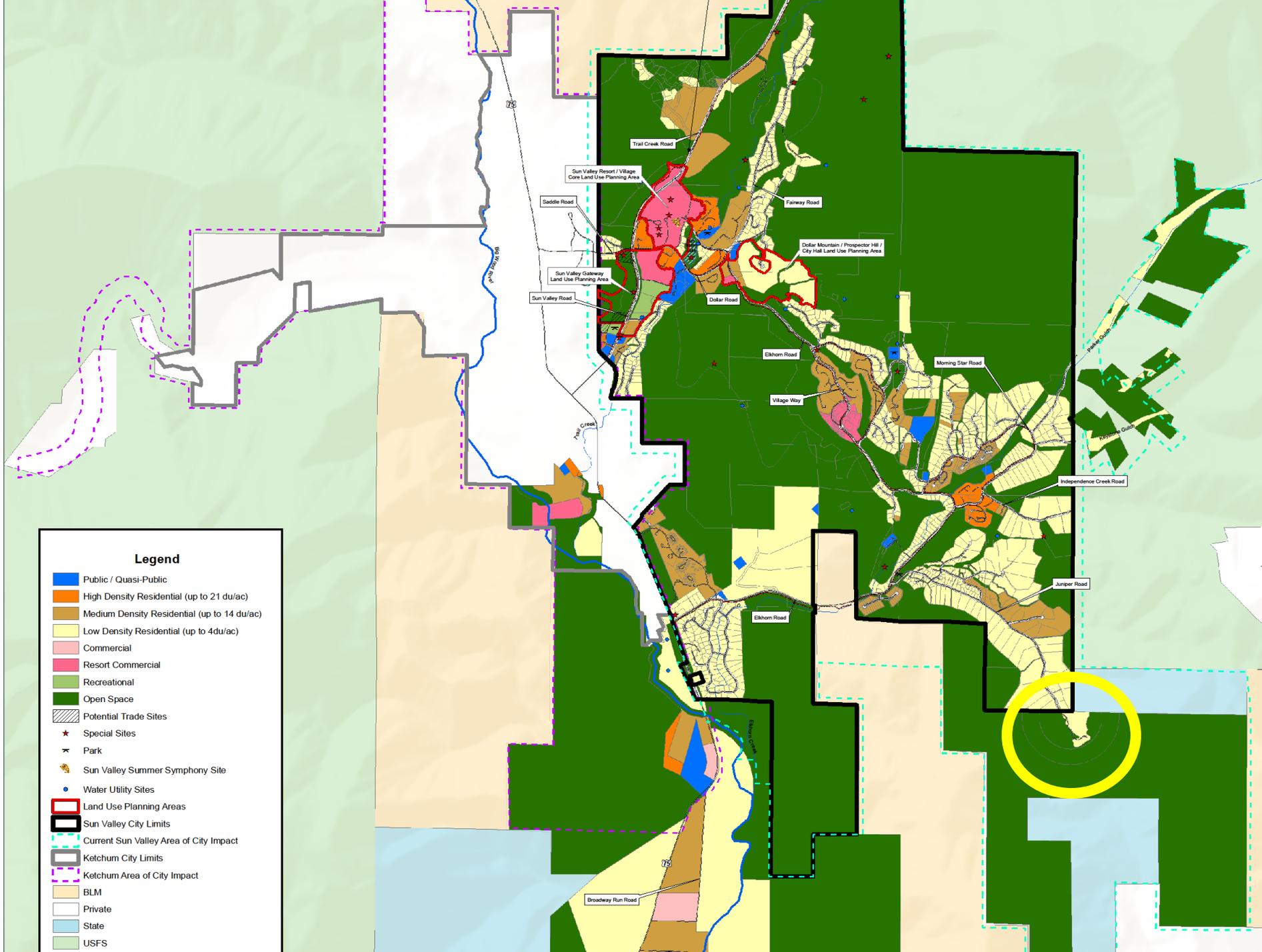
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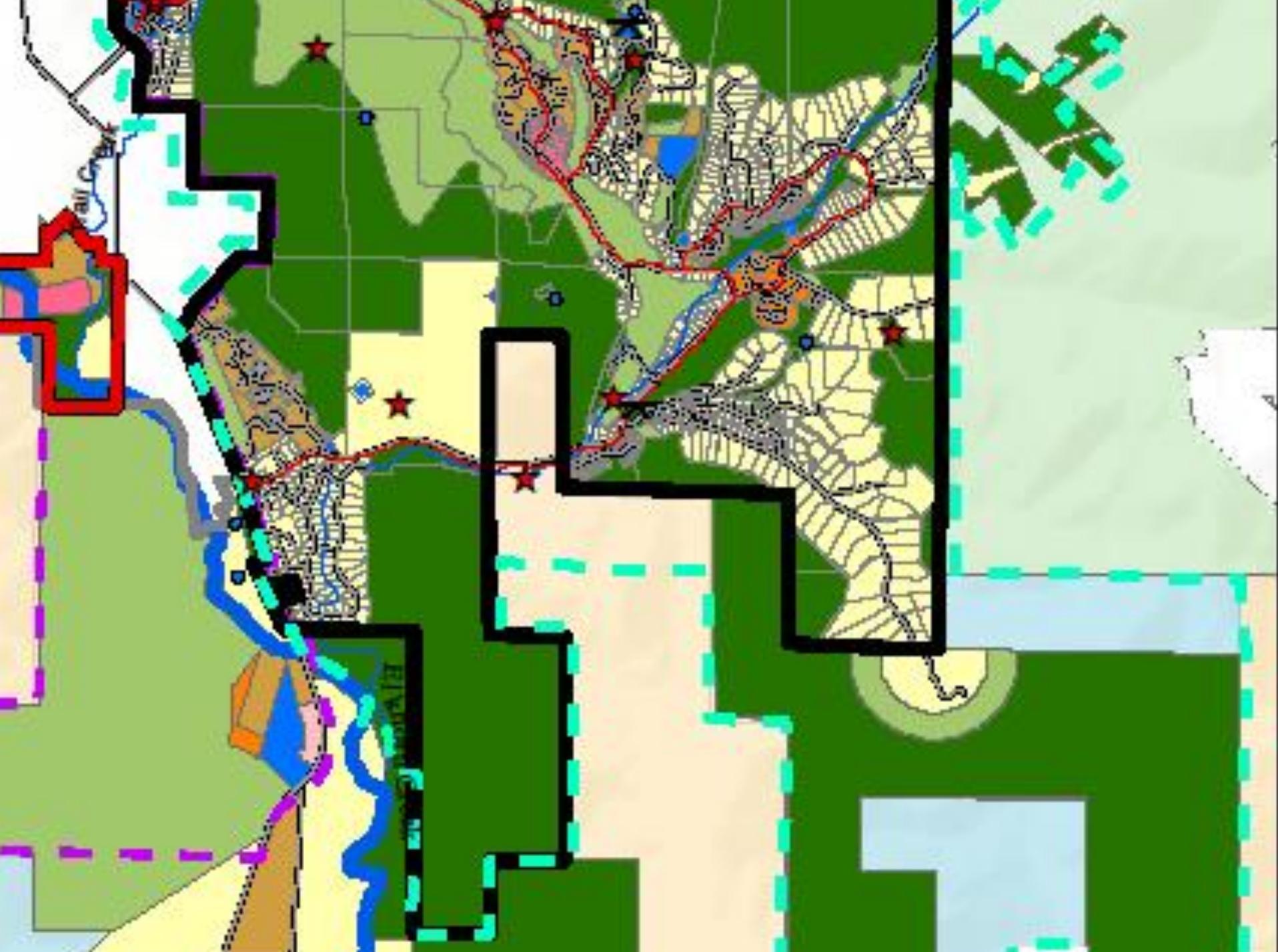
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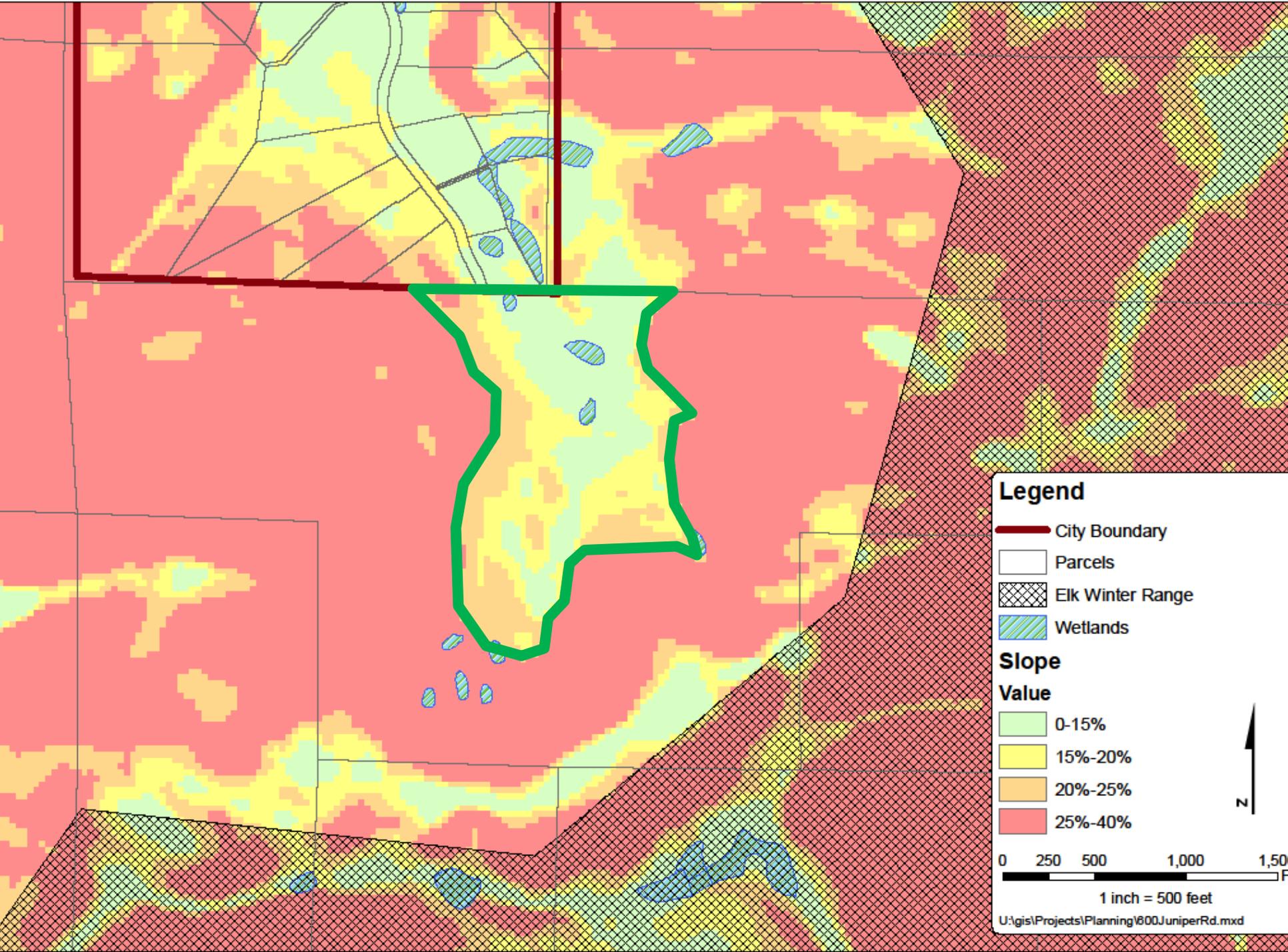


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Legend

- City Boundary
- Parcels
- Elk Winter Range
- Wetlands

Slope

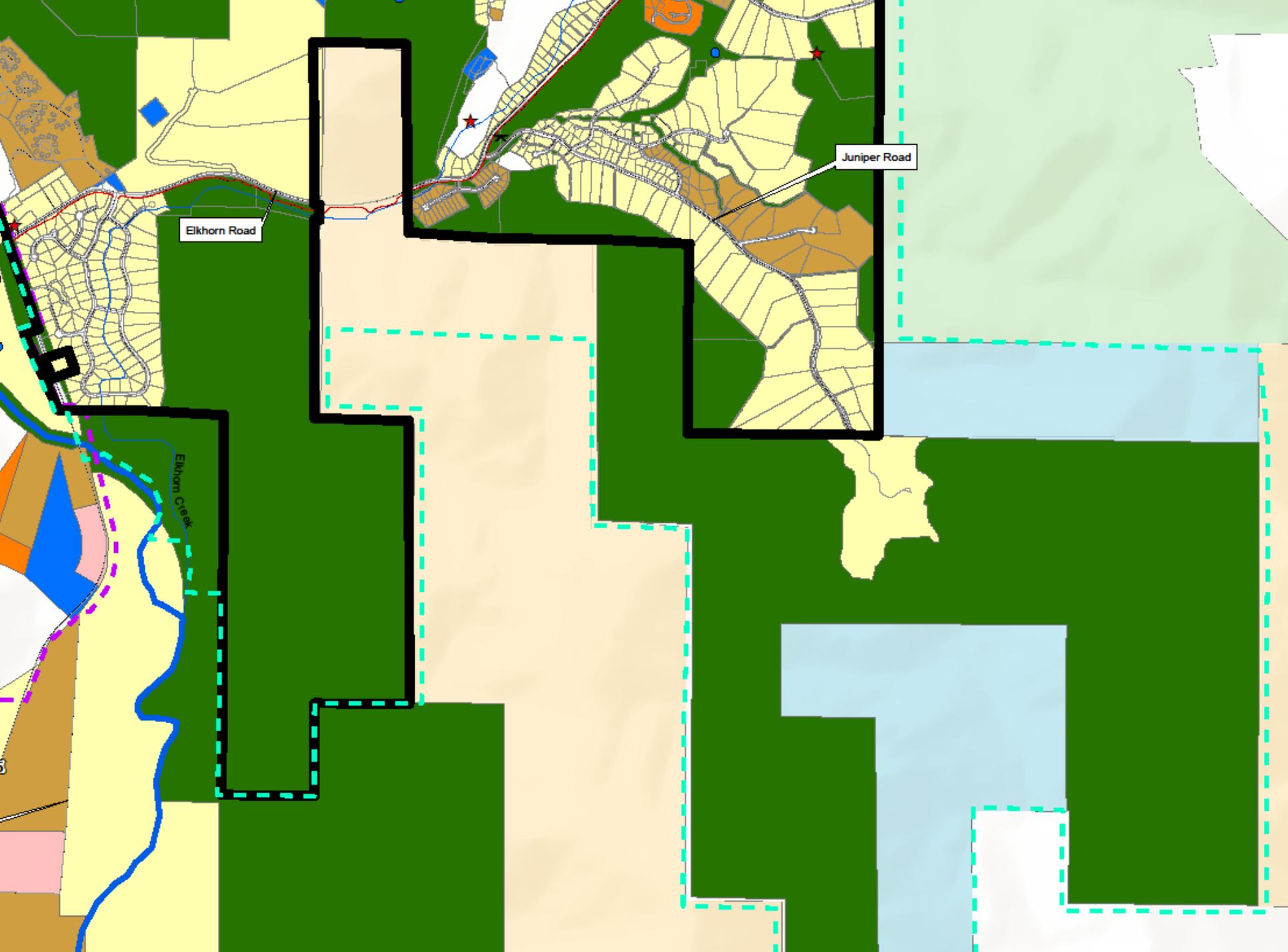
Value

- 0-15%
- 15%-20%
- 20%-25%
- 25%-40%

0 250 500 1,000 1,500 Feet

1 inch = 500 feet

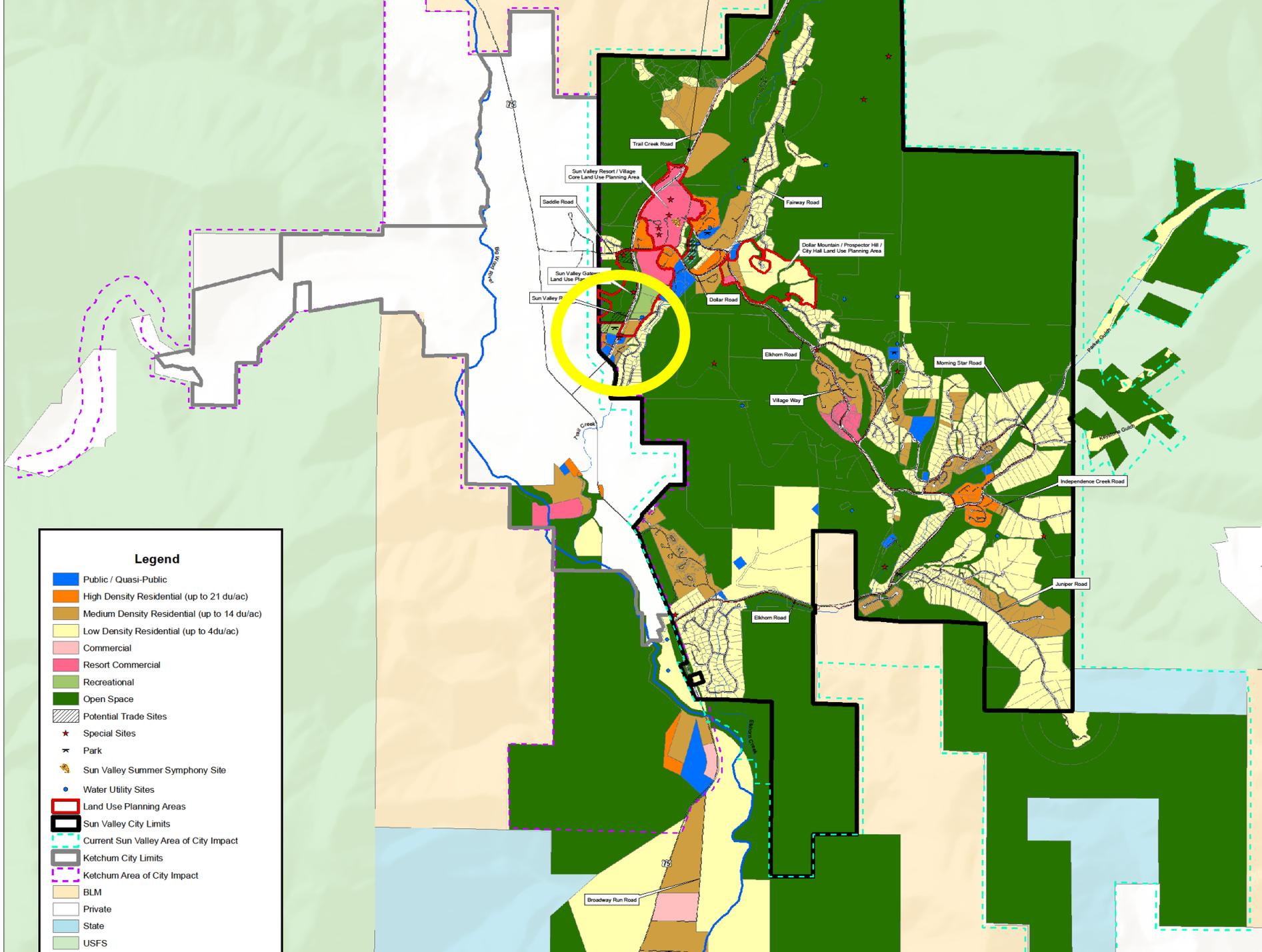
U:\gis\Projects\Planning\800JuniperRd.mxd



Elkhorn Road

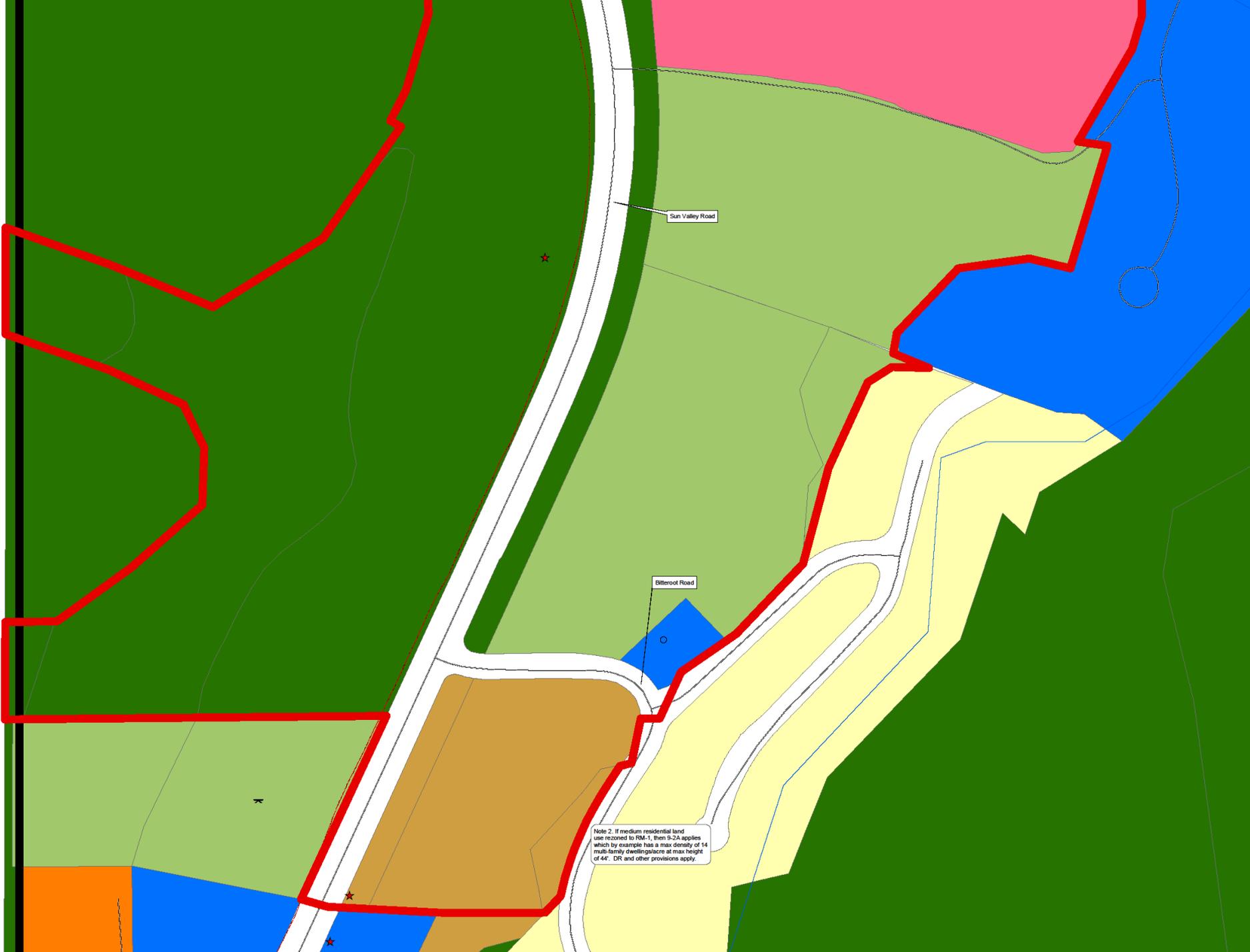
Juniper Road

Elkhorn Creek



Legend

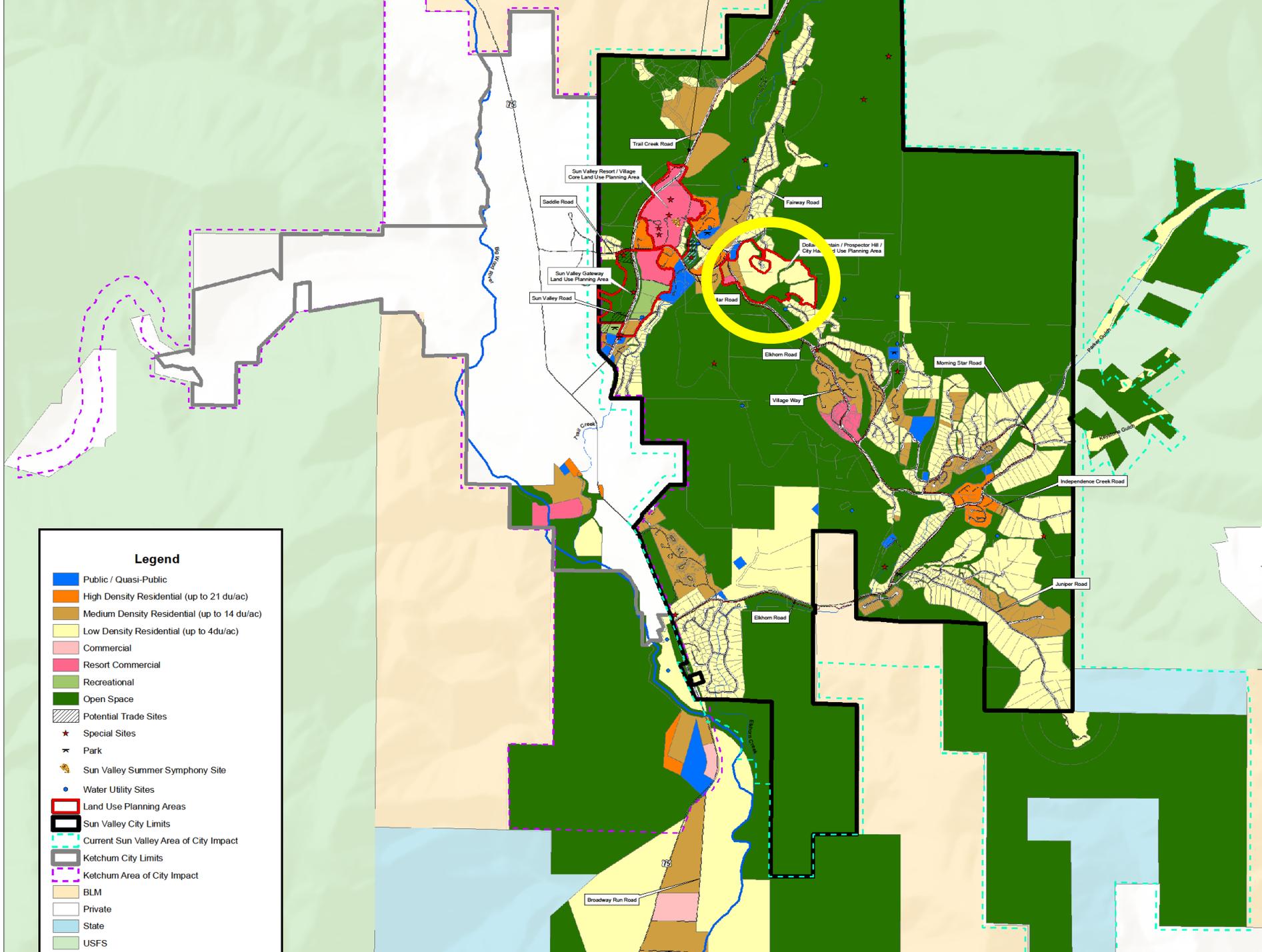
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Sun Valley Road

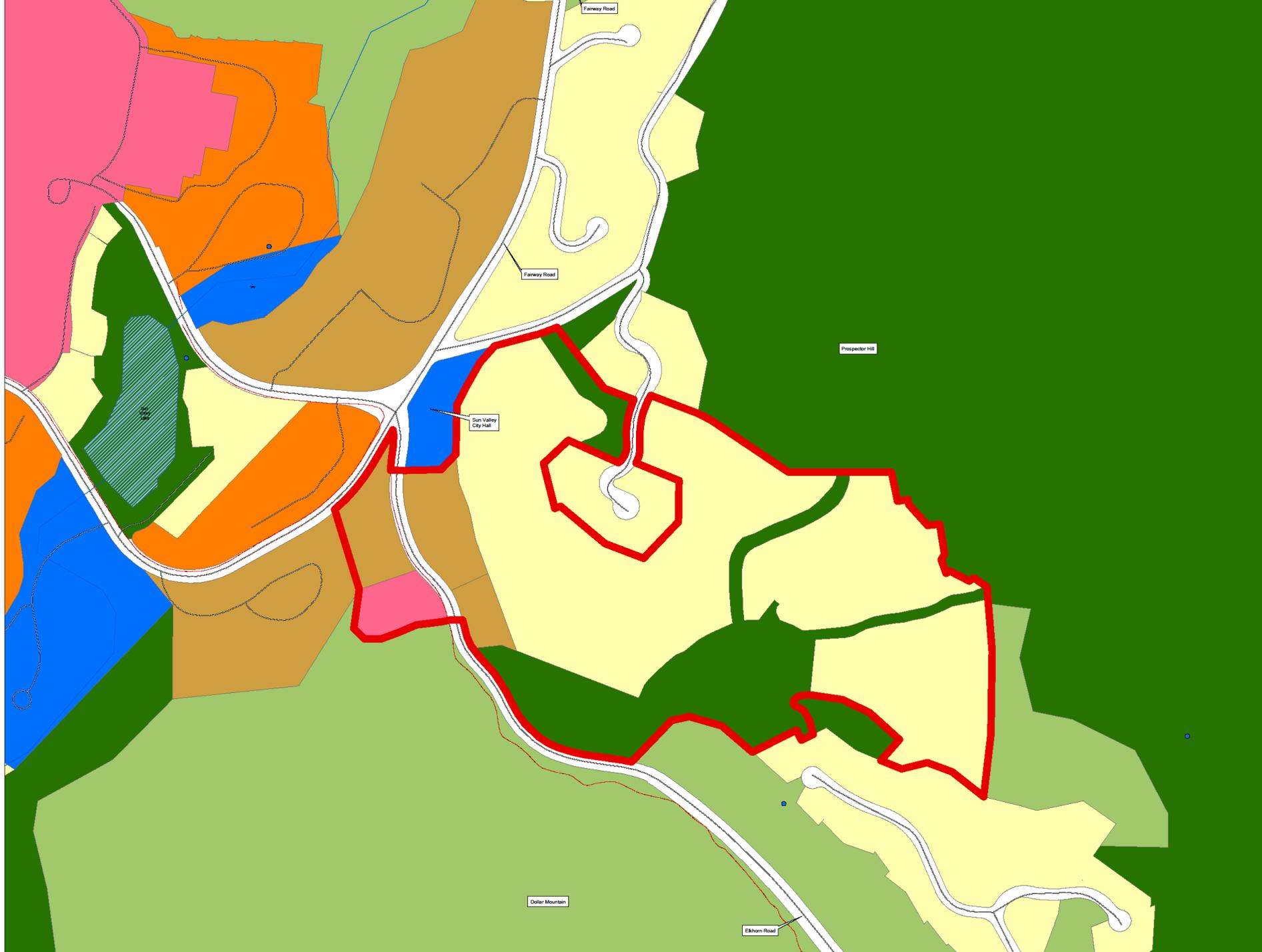
Bitterroot Road

Note 2. If medium residential land use rezoned to RM-1, then S-2A applies which by example has a max density of 14 multi-family dwellings/acre at max height of 44'. DR and other provisions apply.



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SUN VALLEY
CITY HALL

PROSPECTOR
KNOLLS

VIEW C

ELKHORN ROAD

PROPOSED PROPERTY LINE

DOLLAR MT.
LODGE



SUN VALLEY CITY HALL

PROSPECTOR KNOLLS

VIEW C

VIEW D

PROPOSED PROPERTY LINE

ELKHORN ROAD

DOLLAR MT. LODGE

30'
MIT



SUN VALLEY
CITY HALL

ELKHORN ROAD

DOLLAR MT.
LODGE

PROPOSED PROPERTY LINE