

SMITH RESIDENCE REMODEL

MARCH 22nd, 2016
102 FARNLUN PLACE
SUN VALLEY, IDAHO 83353

PROJECT TEAM:

ARCHITECT:

Blincoe Architecture
POST OFFICE BOX 4424
KETCHUM, IDAHO 83340
(208) 726-1935

CIVIL ENGINEER:

Galeria Engineers Inc.
317 N RIVER STREET
HALEY, IDAHO 83333
(208) 784-1125

LANDSCAPE ARCHITECT

Clemens Associates Inc.
P.O. BOX 340
KETCHUM, IDAHO 83340
(208) 724-5991

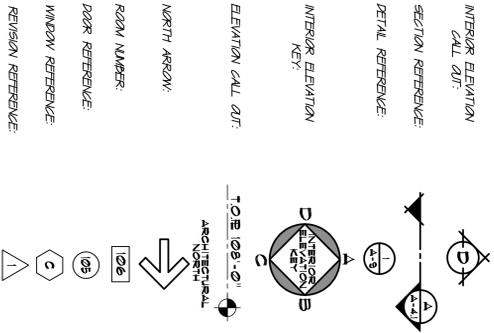
BUILDER:

Wilcoxon Construction
PO BOX 8770
KETCHUM, IDAHO 83340
(208) 724 5716

GENERAL NOTES:

- NOTE:
1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FINISH UNLESS OTHERWISE NOTED.
5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS FROM THE APPLICABLE LOCAL, STATE, FEDERAL, AND PLANNING DEPARTMENT. STATE ELECTRICAL, MECHANICAL, AND PLUMBING REGULATIONS FOR APPROPRIATE SITE INSPECTIONS.
6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO REMAIN. DRAWING.
7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE APPLICATION MATERIAL, AND TRASH ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.
8. THE UNDERSTANDING OF FRENCH SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION. WORK MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES.

ARCHITECTURAL SYMBOLS:



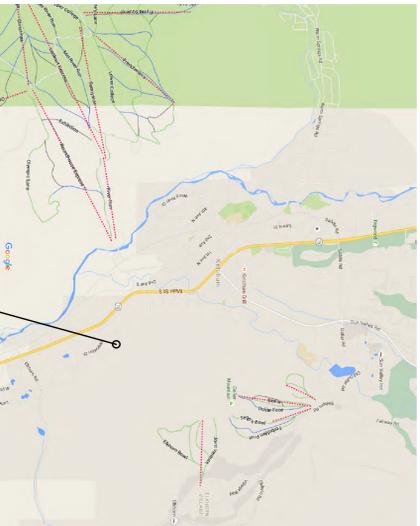
CODE COMPLIANCE:

1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE WITH THE 2008 INTERNATIONAL BUILDING CODE, 2008 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2008 INTERNATIONAL MECHANICAL CODE.
2. PLUMBING VENTING TO REFLECT COMPLIANCE WITH 2008 INTERNATIONAL BUILDING CODE AND 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
3. ALL ELECTRICAL SHALL CONFORM TO 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
ROOFING:
* ALL ROOFING SHALL CONFORM WITH THE REQUIREMENTS OF THE 2008 INTERNATIONAL RESIDENTIAL CODE.
HURDLES & GUTTERALS:
* ALL STAIRWAYS SHALL CONFORM WITH CHAPTER 10 OF THE 2008 INTERNATIONAL RESIDENTIAL CODE.
BUILDING ENVELOPE:
* SHALL CONFORM WITH SECTION 402 OF THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
LIGHTING EQUIPMENT:
* SHALL CONFORM WITH SECTION 404 OF THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
ATTIC ACCESS:
* SHALL CONFORM WITH SECTION 402.13 OF THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
CHIMNEYS AND FIREPLACES:
* ALL CHIMNEYS AND FIREPLACES SHALL CONFORM WITH CHAPTER 10 OF THE 2008 INTERNATIONAL RESIDENTIAL CODE AND SECTION 402.4.3 OF THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
GLASS AND GLAZING:
* SHALL CONFORM WITH SECTION 601 OF THE 2008 INTERNATIONAL RESIDENTIAL CODE.
DUCTS:
* SHALL CONFORM WITH SECTION 602 OF THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.
CRACK/SPACE VENTING:
* SHALL CONFORM WITH THE 2008 INTERNATIONAL RESIDENTIAL CODE.
LIVING SPACE VENTILATION:
* SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 35 EXCHANGES PER HOUR VENTILATION WITH THE MECHANICAL SYSTEM.

BUILDING DATA:

OCCUPANCY : R3
CONSTRUCTION TYPE : Ⅱ WOOD FRAME
EXISTING MAIN RESIDENCE SQUARE FOOTAGE : EXISTING RES FLOOR AREA 10,214 #
ADDITIONAL RES FLOOR AREA 397 #
TOTAL RES FLOOR AREA 10,611 #
PROPOSED GUEST HOUSE SQUARE FOOTAGE : PROPOSED GUEST LIVING AREA 448 #
PROPOSED GUEST GARAGE AREA 922 #
TOTAL RES FLOOR AREA 897 #
PROPERTY AREA : TOTAL LOT AREA: 359 ACRES
BUILDING CODE : 2008 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE CITY OF SUN VALLEY
FIRE CODE : 2008 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF SUN VALLEY
ENERGY CONSERVATION CODE : 2008 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY PLAINIE COUNTY
ZONING : RS-2
PHYSICAL ADDRESS : 102 FARNLUN PL
LEGAL DESCRIPTION : WEYMANIN SUB AMENDED 1981 LOT 4 B/L 7 SUN VALLEY IDAHO 83353
PARCEL NUMBER : R93690200702040
CITY OF SUN VALLEY BUILDING DEPARTMENT
CITY OF SUN VALLEY FIRE DEPARTMENT.

VICINITY MAP:



SHEET INDEX:

- 05 COVER SHEET
- H-1 SITE SURVEY
- L-1-0 SITE PLAN
- L-1-10 GRADING PLAN
- L-1-20 LANDSCAPE PLAN
- L-1-30 CONSTRUCTION MANAGEMENT PLAN
- L-1-50 STAKING PLAN
- A-1 PROPOSED MAIN LEVEL FLOOR PLAN
- A-2 PROPOSED UPPER LEVEL FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS
- A-5 GUEST HOUSE FLOOR PLAN AND ELEVATIONS
- A-6 GUEST HOUSE FLOOR PLAN, ROOF PLAN AND PRESERVATIONS
- A-7 GUEST HOUSE BUILDING SECTION AND EXTERIOR ELEVATIONS

ENERGY REQUIREMENTS:

- * REPARTITION - 2008 IECC MINIMUM U-FACTOR REQUIREMENT IS R5
- * CEILING INSULATION - 2008 IECC MINIMUM R-VALUE REQUIREMENT IS R49
- * WALL FINISHING INSULATION - 2008 IECC MINIMUM R-VALUE REQUIREMENT IS R20
- * FLOOR FINISHING INSULATION - 2008 IECC MINIMUM R-VALUE REQUIREMENT IS R30 (SEE OPTION TO FULL CAVITY WITH A MINIMUM OF R-9 PER IECC)
- * ELECTRICAL LIGHTING - 2008 IECC MINIMUM R-VALUE REQUIREMENT IS MINIMUM 50% OF NEW LAMPS TO BE HIGH EFFICIENCY LAMPS

NEIGHBORHOOD MAP:



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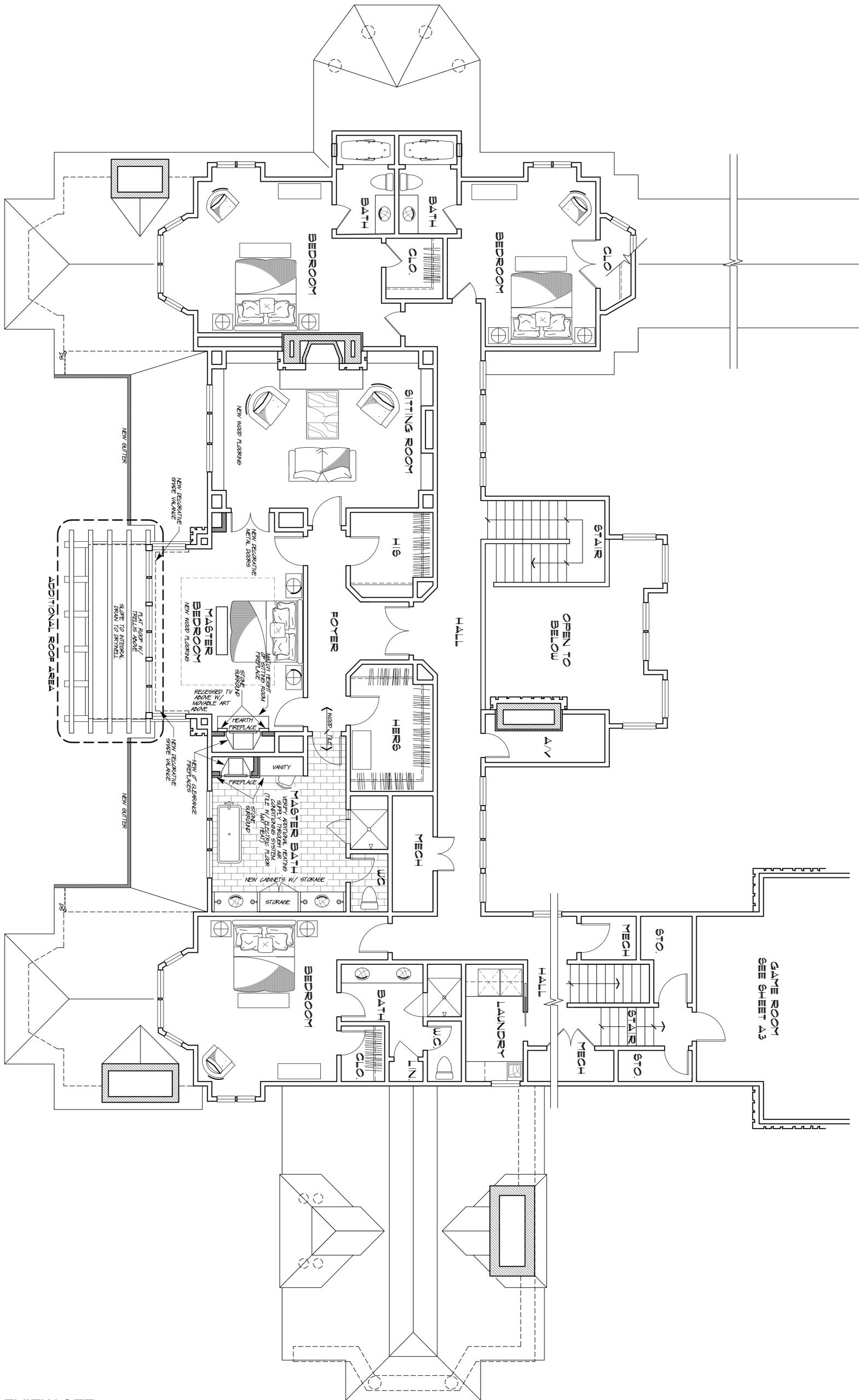
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PROPOSED UPPER LEVEL FLOOR PLAN

PLAN LEGEND:

- WALLS/WINDOWS TO BE REMOVED
- EXISTING WALL
- NEW WALL CONSTRUCTION
- NEW WINDOW

SCALE: 1/4"=1'-0"



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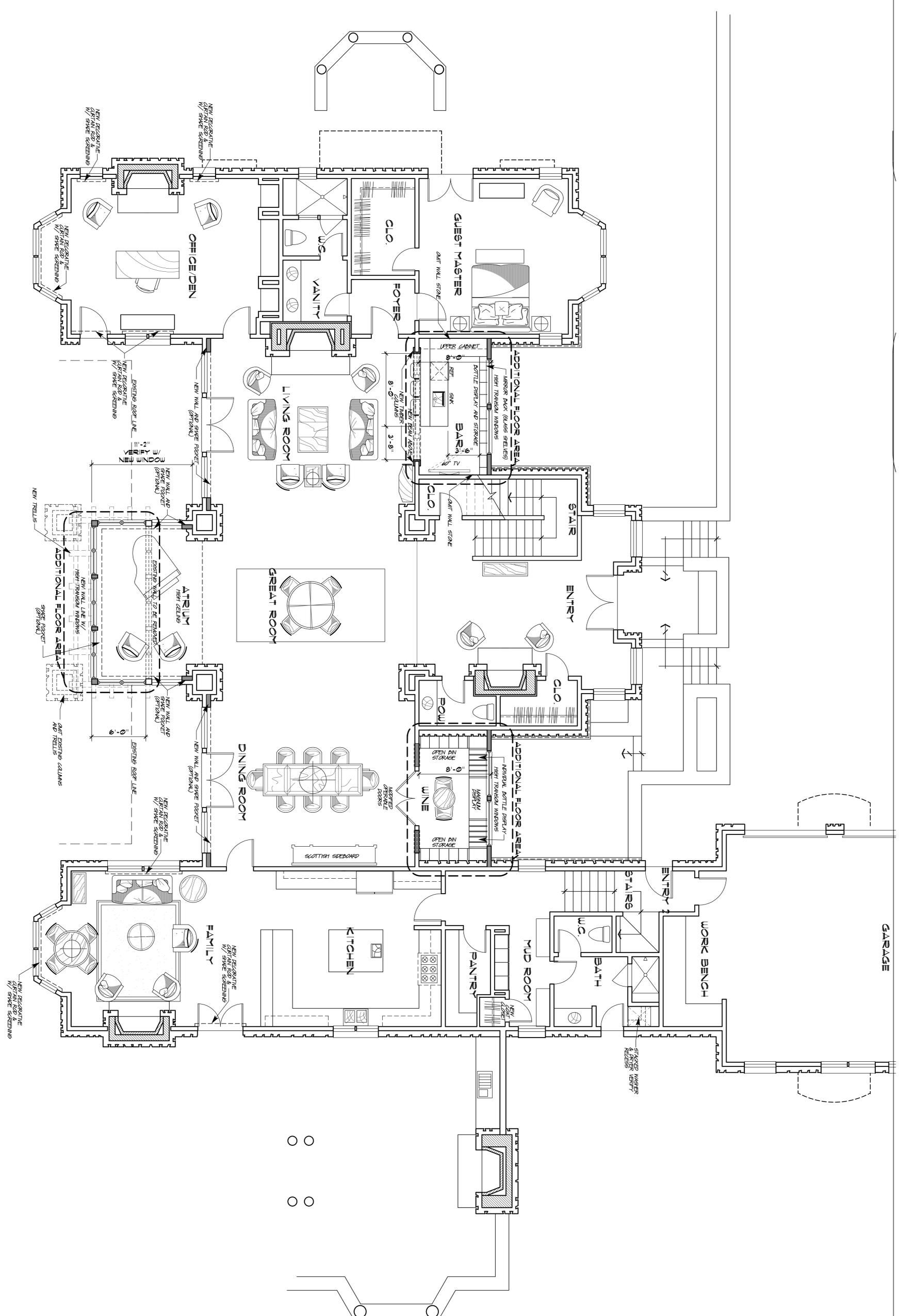
1026 S. Box 4424 Ketchum, Idaho 83340 Tel: 208-720-1325

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A2

JOB #:	02315
PROJECT DATE:	3/22/16
DESIGN REVIEW:	3/22/16
REVISIONS:	
CONSTRUCTION:	

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PROPOSED MAIN LEVEL FLOOR PLAN

PLAN LEGEND:
 --- WALLS/WINDOWS TO BE REMOVED
 --- EXISTING WALL
 --- NEW WALL CONSTRUCTION
 --- NEW WINDOW

SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"



ADDITIONAL SQ. FT. TABULATION:

MUSIC ROOM:	106 #
BAR/WINE ROOM:	229 #
TOTAL ADDITIONAL AREA:	337 #

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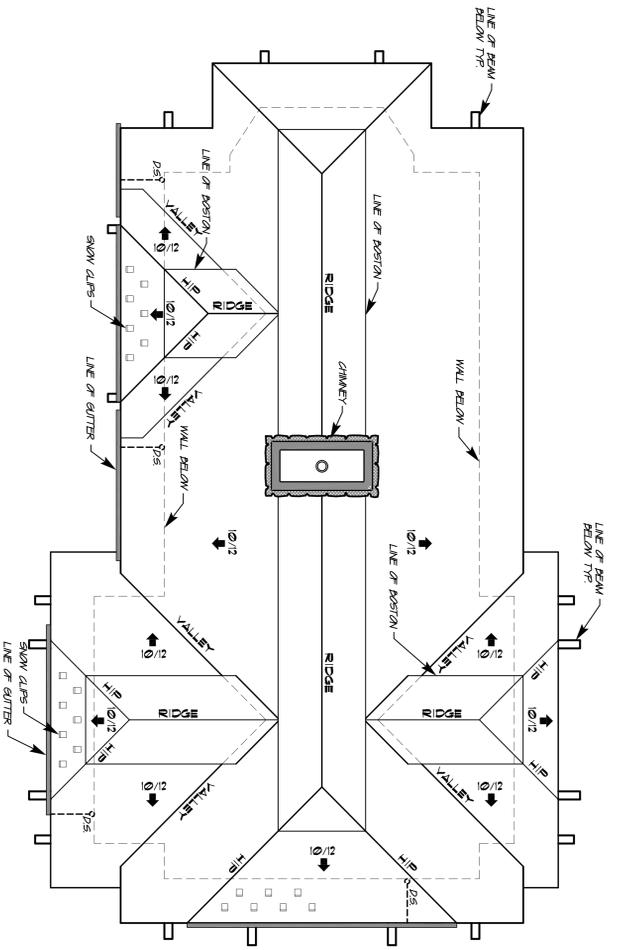
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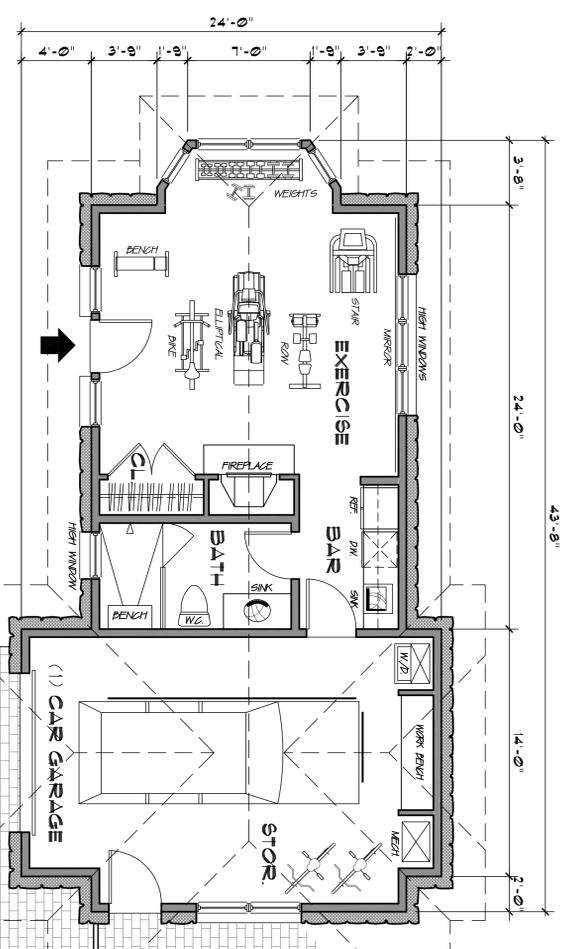
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- ROOF PLAN LEGEND:**
- SNOW CLIPS - INSTALL PER MANUFACTURERS REQUIREMENTS
 - NEW GUTTER
 - DS ↓ w/ NEW DOWN-SPOUT

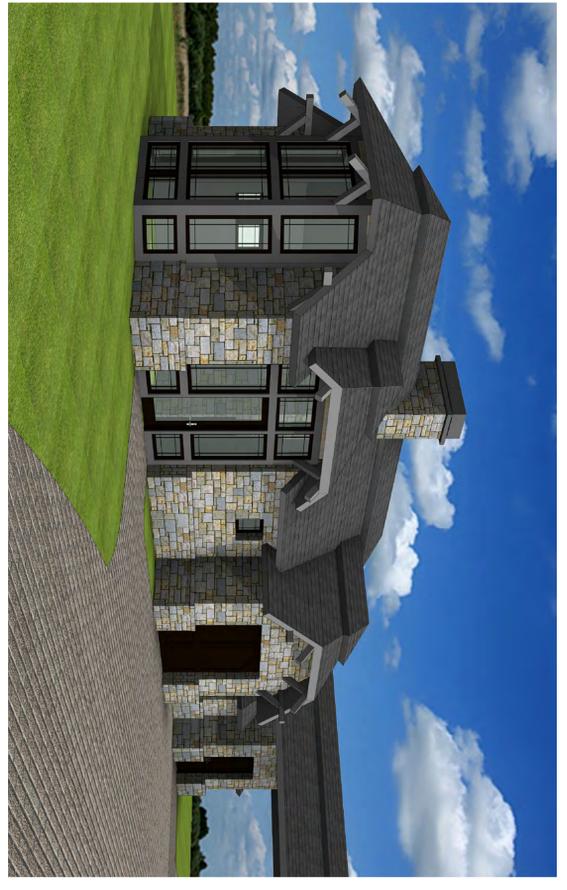
EXERCISE/GUEST HOUSE ROOF PLAN
SCALE: 1/4"=1'-0"



EXERCISE/GUEST HOUSE FLOOR PLAN
SCALE: 1/4"=1'-0"

SQUARE FOOTAGE TABULATION:

EXERCISE/GUEST ROOM	465 #
GARAGE	372 #
TOTAL AREA	837 #



NORTHWEST GUEST HOUSE PERSPECTIVE
NOT TO SCALE



SOUTHWEST GUEST HOUSE PERSPECTIVE
NOT TO SCALE

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REGISTERED
ARCHITECT
STATE OF IDAHO
Lester Blincoe

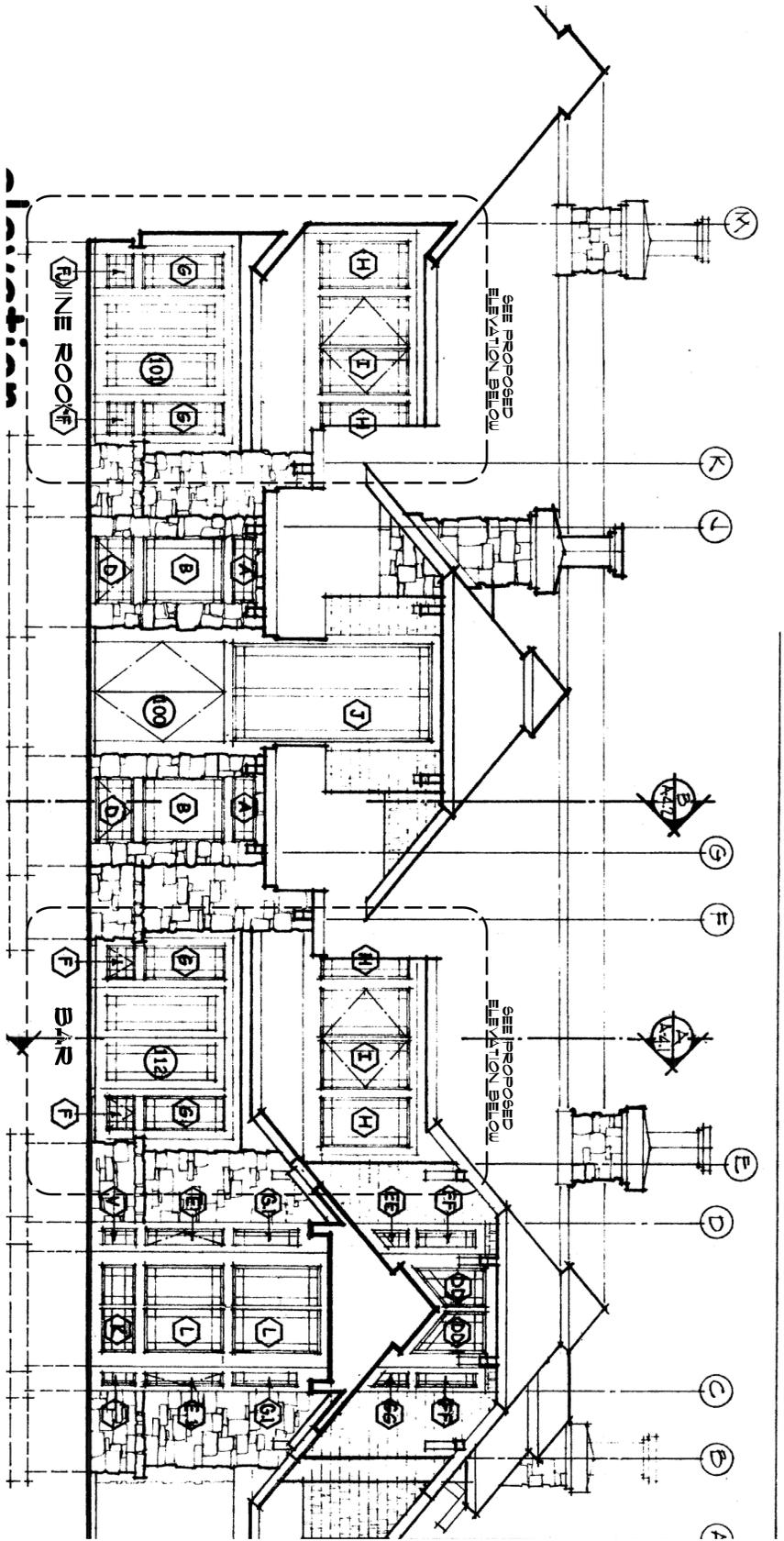
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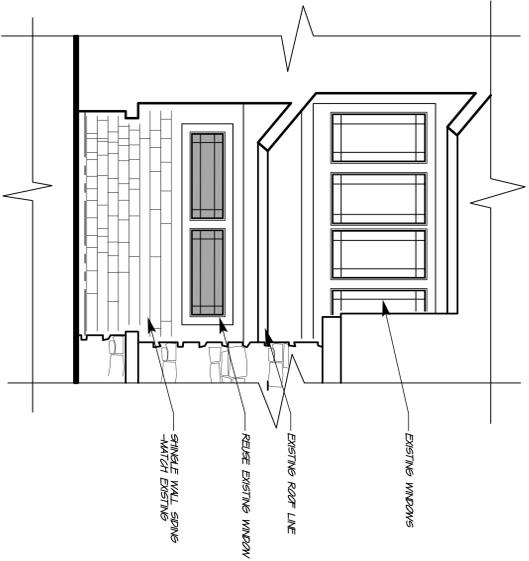
EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



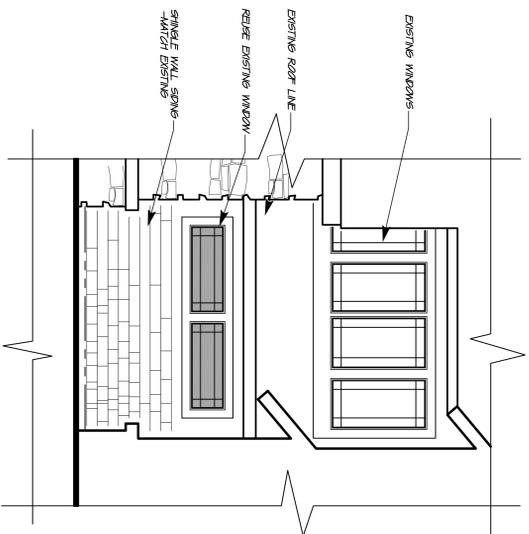
PROPOSED WINE ROOM ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED BAR ELEVATION

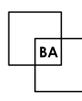
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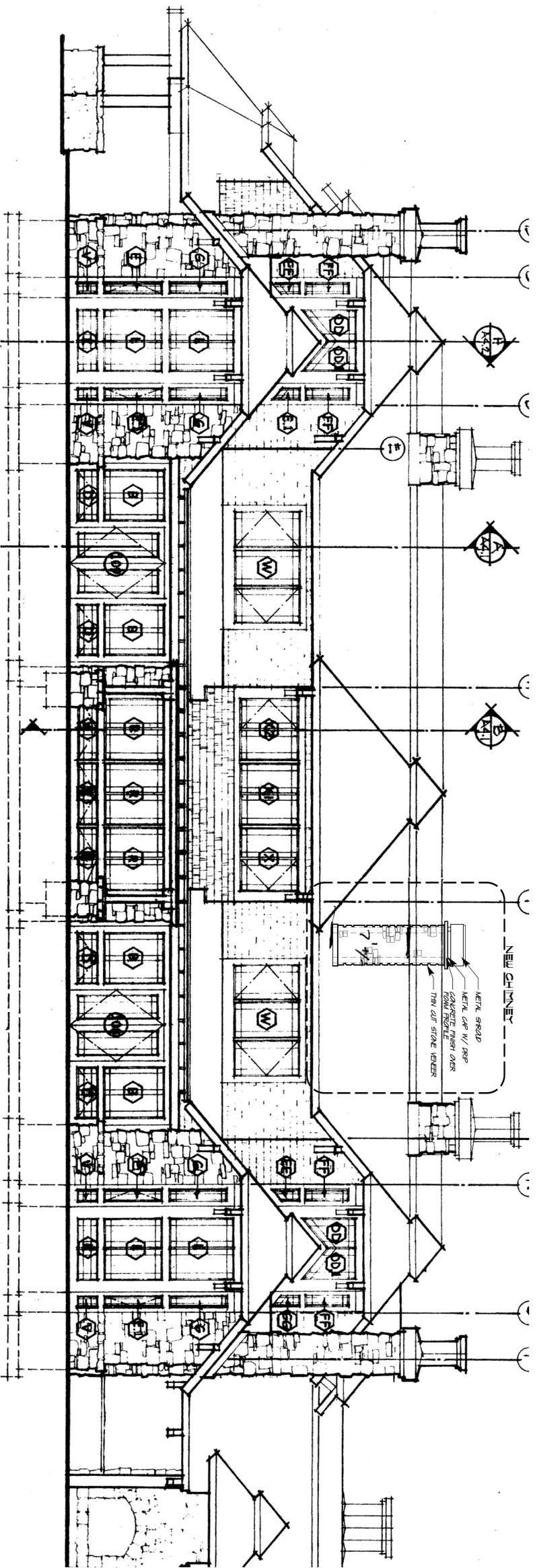
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A4



EXISTING ATRIUM/MUSIC ROOM ELEVATION - PROPOSED NEW CHIMNEY

SCALE: 1/4"=1'-0"



PROPOSED ATRIUM/MUSIC ROOM PERSPECTIVE



PROPOSED ATRIUM/MUSIC ROOM ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED ATRIUM/MUSIC ROOM PERSPECTIVE



PROPOSED ATRIUM/MUSIC ROOM PERSPECTIVE

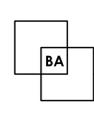


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102 FARLUN PLACE
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Charles Blincoe
ARCHITECT
STATE OF IDAHO

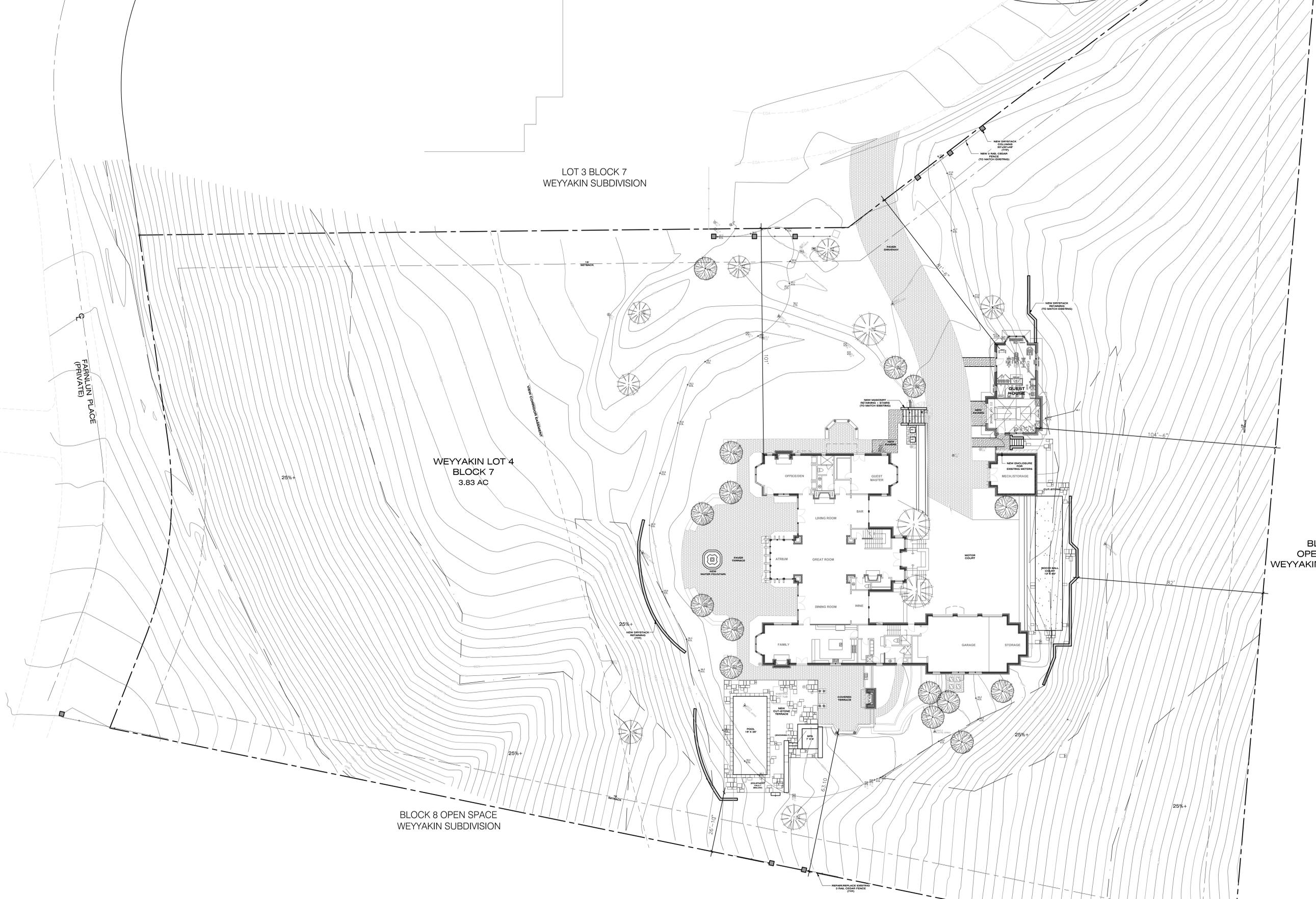


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A3

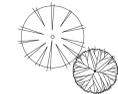
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- GENERAL NOTES:**
1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
 3. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 4. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF SUN VALLEY, IDAHO.

EXISTING TREES - TO REMAIN

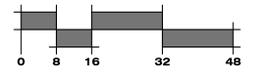
	24	EVERGREEN TREES
	15	DECIDUOUS TREES

EXISTING TREES - TO BE REMOVED

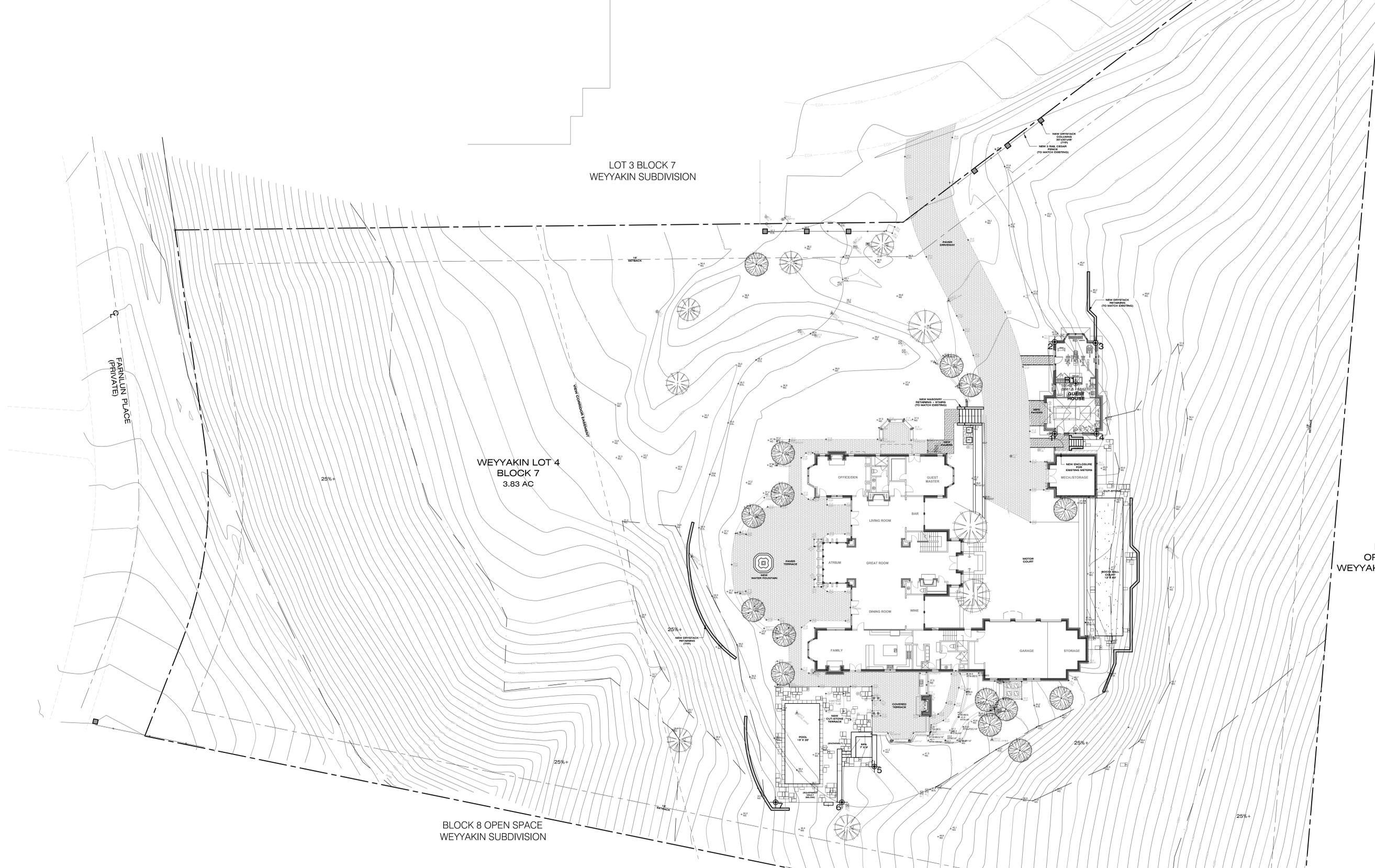
	2	EVERGREEN TREES
	1	DECIDUOUS TREES



SCALE: 1/16" = 1'-0"
March 22, 2016



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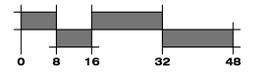


STAKING LEGEND

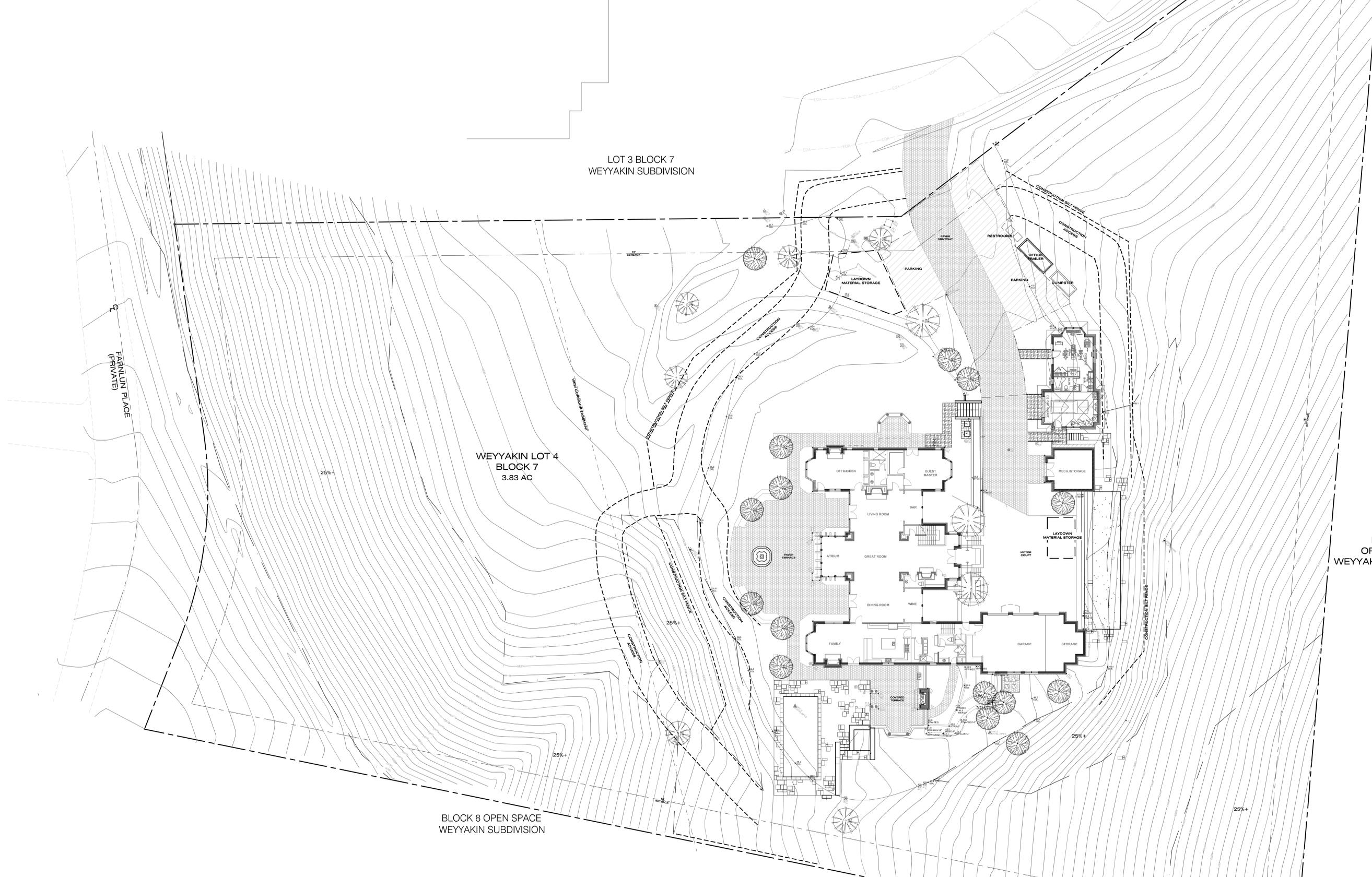
- 1** CORNER STAKE - GUEST HOUSE + POOL/SPA
- R1** ROOF STAKE - GUEST HOUSE
- 0.0'** HEIGHT OF STOREY POLE
(ELEVATION OF TOP OF ROOF - ELEVATION OF EXISTING/RECORD GRADE)

NORTH

SCALE: 1/16" = 1'-0"
March 22, 2016



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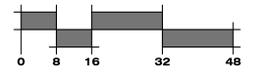


- CONSTRUCTION MANAGEMENT NOTES:**
1. THE SITE WILL BE MAINTAINED IN A CLEAN AND ORDERLY FASHION.
 2. SHARED ACCESS ROAD AND ADJACENT AREAS WILL BE KEPT CLEAN OF MUD AND CONSTRUCTION DEBRIS.
 3. THERE WILL BE NO BURIAL OF CONSTRUCTION PRODUCTS OR DEBRIS.
 4. THERE WILL BE NO STORAGE OF HAZARDOUS MATERIALS OR FUEL ON PARCEL WITHOUT PROPER SPILL CONTAINMENT IN PLACE.
 5. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
 6. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.

CONSTRUCTION MANAGEMENT LEGEND

	RESTROOMS		MATERIAL STORAGE
	DUMPSTER		PARKING - IN ADDITION TO EXISTING DRIVEWAY EXISTING DRIVEWAY TO BE UTILIZED FOR EMPLOYEE PARKING PERSONAL VEHICLES. PLYWOOD WILL BE USED TO PROTECT EXISTING PAVERS.
	OFFICE TRAILER		CONSTRUCTION ACCESS
			CONSTRUCTION SILT FENCE

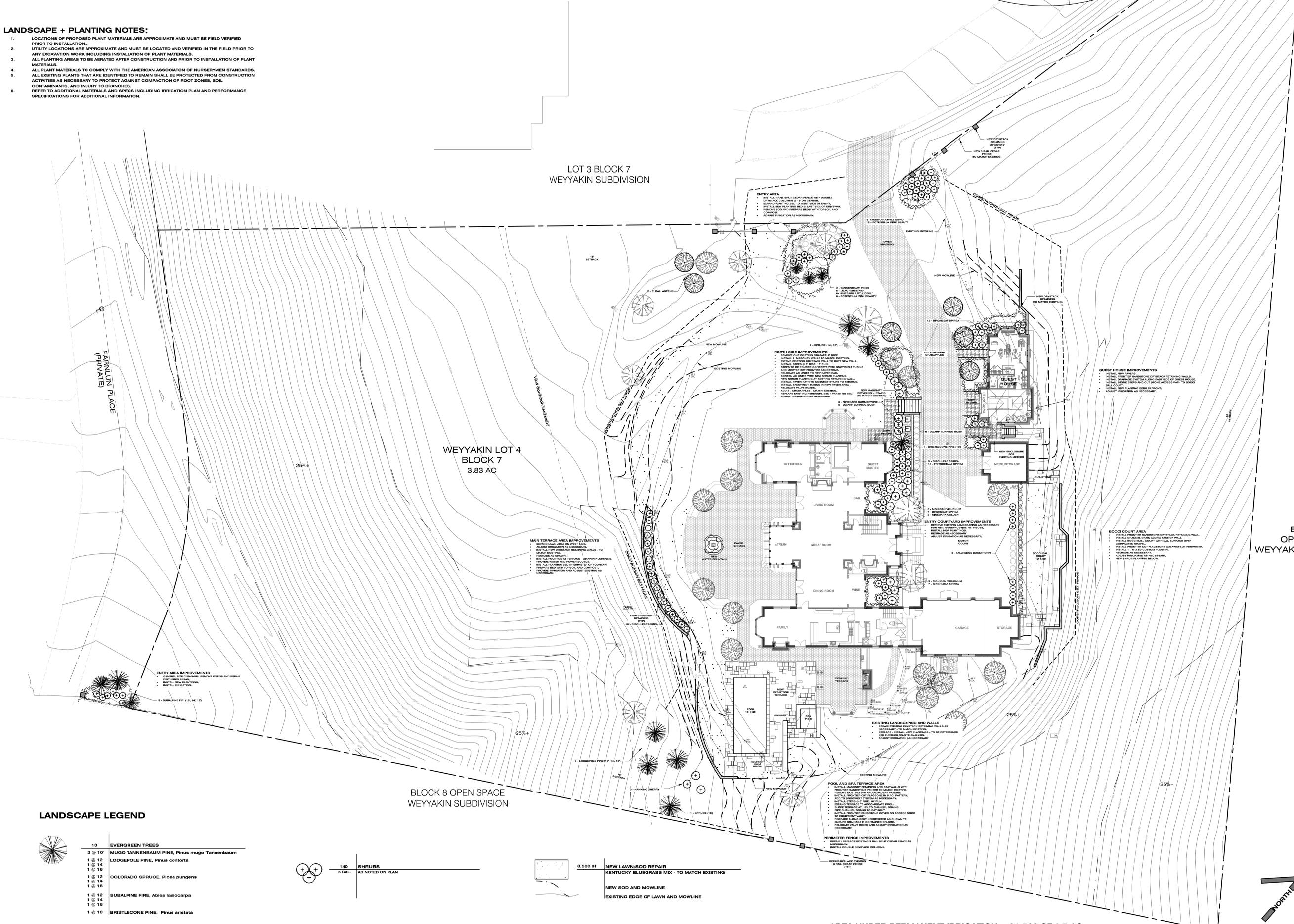

 SCALE: 1/16" = 1'-0"
 March 22, 2016



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LANDSCAPE + PLANTING NOTES:

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE ABATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
5. REFER TO ADDITIONAL MATERIALS AND SPECS INCLUDING IRRIGATION PLAN AND PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



LANDSCAPE LEGEND

	13	EVERGREEN TREES
3 @ 10'		MUGO TANNENBAUM PINE, <i>Pinus mugo</i> Tannenbaum*
1 @ 12'		LODGEPOLE PINE, <i>Pinus contorta</i>
1 @ 14'		
1 @ 16'		
1 @ 12'		COLORADO SPRUCE, <i>Picea pungens</i>
1 @ 14'		
1 @ 16'		
1 @ 12'		SUBALPINE FINE, <i>Abies lasiocarpa</i>
1 @ 14'		
1 @ 16'		
1 @ 10'		BRISTLECONE PINE, <i>Pinus aristata</i>
<hr/>		
	6	DECIDUOUS TREES
4 @ 3'		FLOWERING CRABAPPLE, <i>Malus sp.</i> TO MATCH EXISTING
2 @ 4'		QUAKING ASPEN, <i>Populus tremuloides</i>

	140	SHRUBS
		AS NOTED ON PLAN
<hr/>		
	2,800 sq ft	NEW PLANTER BEDS
	1,250 sq ft	PERENNIALS + GROUNDCOVERS
	1 gal @ 18" o.c.	
		Beds Prepared with Planting Mix Consisting of 50% Compost/50% Top-Soil, and APEX Fertilizer of similar - Per Manufacturer's Specified Application Rates.

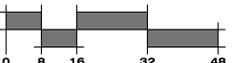
	8,500 sq ft	NEW LAWN/SOD REPAIR
		KENTUCKY BLUEGRASS MIX - TO MATCH EXISTING
		NEW SOD AND MOWLINE
		EXISTING EDGE OF LAWN AND MOWLINE
<hr/>		
	8,500 sq ft	NATURAL GRASSES - PERIMETER NATURAL AREAS*
		HYDROSEED MIX (100 lbs / acre):
		50% CANADIAN BLUEGRASS, <i>Poa can. ssp. canadensis</i>
		25% IDAHO FESCUE, <i>Festuca idahoensis</i>
		25% BLUEBUNCH WHEATGRASS, <i>Agropyron interm.</i>
		(* IRRIGATION TO BE ZONED SEPARATELY - TO BE TURNED OFF ONCE RESTORATION IS ESTABLISHED.)

AREA UNDER PERMANENT IRRIGATION = 21,700 SF / .5 AC

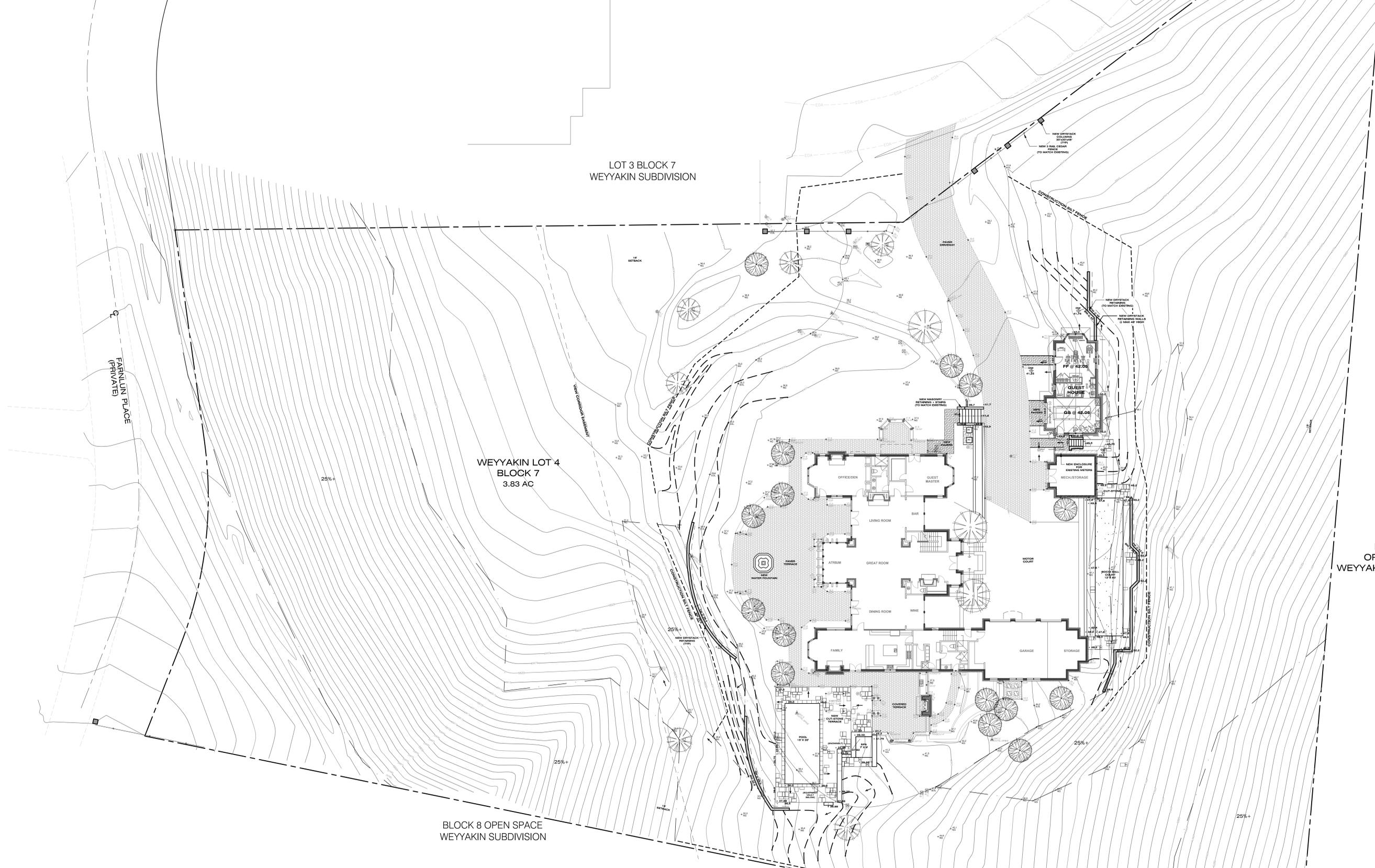
IRRIGATION NOTES:

1. ALL LANDSCAPING TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM.
2. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS.
3. ALL DISTURBED AREAS TO BE RE-VEGETATED WITH NATURAL GRASSES AND IRRIGATED UNTIL ESTABLISHED.
4. TOTAL AREA UNDER PERMANENT IRRIGATION NOT TO EXCEED .5 AC / 21,750 SF.

SCALE: 1/16" = 1'-0"
 March 22, 2016
 REVISED:



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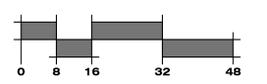
GRADING + DRAINAGE NOTES:

- ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
- REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORBEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
- PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
- SILT FENCE TO BE INSTALLED UPSLOPE ALONG WATERWAY PRIOR TO EXCAVATION WORK. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
- ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
- FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
- ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.

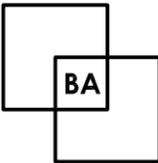
GRADING + HARDSCAPE LEGEND

	EXISTING CONTOURS		CATCH BASIN 3 @ 12"		DRystack STONE RETAINING WALL EXISTING
	PROPOSED CONTOURS		DRYWELL 7 @ 12" 1 @ 18"		TW 0.0 TOP OF WALL ELEVATION
	SPOT ELEVATION - FINISH GRADE		1.5% PERCENT SLOPE		BW 0.0 BOTTOM OF WALL ELEVATION
	SPOT ELEVATION - EXISTING GRADE		DIRECTION OF DRAINAGE		CUT STONE FLATWORK FRONTIER SANDSTONE - 5 PIECE PATTERN
	FINISH FLOOR ELEVATION		CHANNEL DRAIN		NEW PAVERS TO MATCH EXISTING
	GARAGE SLAB ELEVATION		DRAINLINE		CONSTRUCTION/SILT FENCE

NORTH
SCALE: 1/16" = 1'-0"
March 22, 2016



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Blincoe Architecture

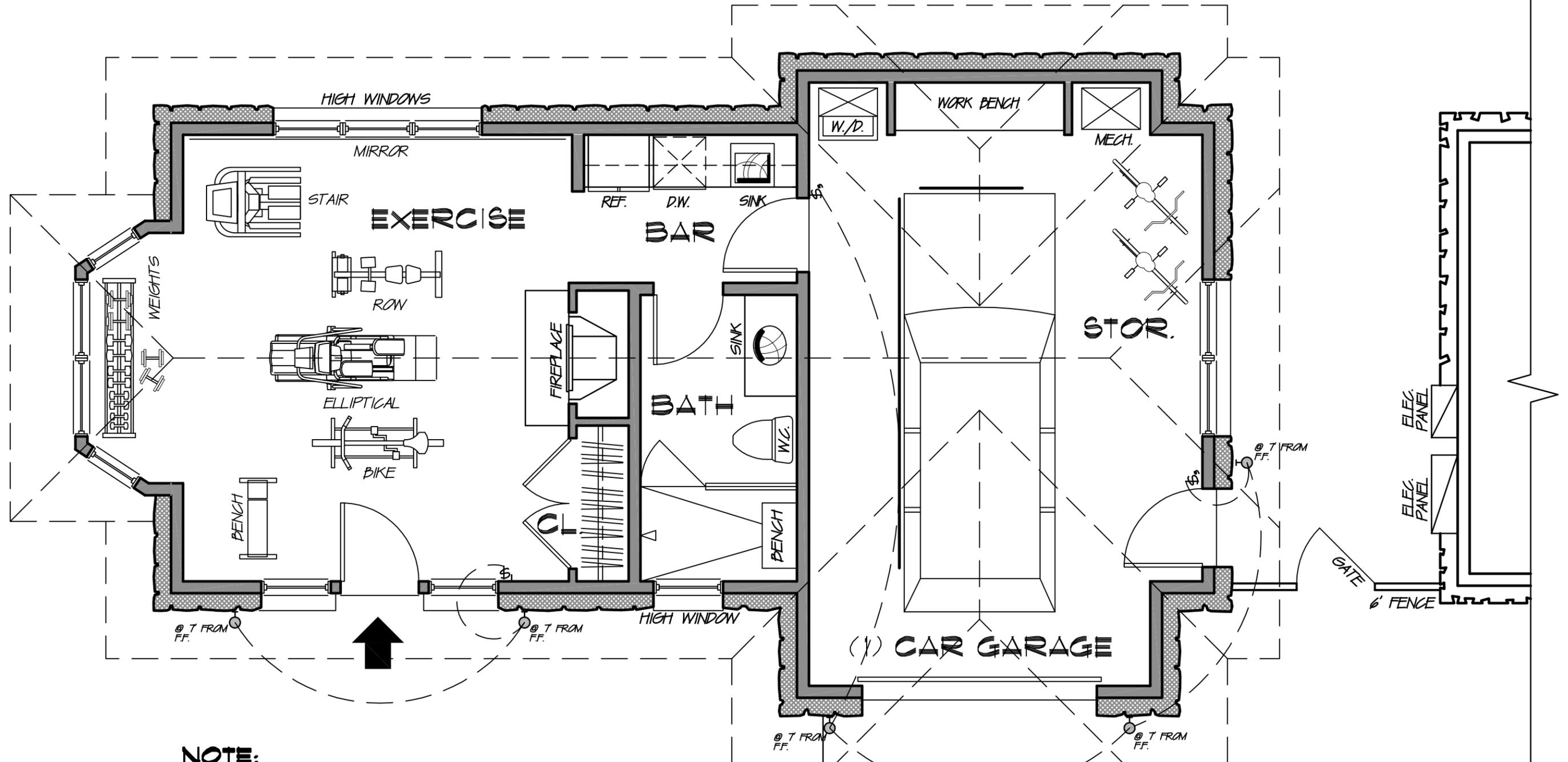
P.O. Box 4424
Ketchum, Idaho 83340
Tel.: 208-720-1325

PRELIMINARY NOT FOR CONSTRUCTION

JOB: GRAHAM SMITH RESIDENCE

DATE: 3/24/16

NOTE: EXERCISE/GUEST HOUSE ELEC. PLAN



NOTE:
* SEE CUTSHEETS FOR ADDITIONAL LIGHTING INFORMATION.

EXERCISE/GUEST HOUSE ELEC./LIGHTING PLAN

SCALE: 1/4"=1'-0"



CHATFIELD 2780OZ
OIL RUBBED BRONZE

WIDTH:	7.0"
HEIGHT:	14.3"
WEIGHT:	3.0 LBS
MATERIAL:	SOLID ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	7.5"
SOCKET:	1-100W MED
DARK SKY:	WITH DSLM-40
EXTENSION:	7.5"
TTO:	9.3"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665278002

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