

MEETING AGENDA

THURSDAY, APRIL 28, 2016 AT 9:00 A.M.
SUN VALLEY PLANNING AND ZONING COMMISSION
TO BE HELD IN SUN VALLEY COUNCIL CHAMBER AT CITY HALL

*The meeting will begin with a site visit at 9am at 206 ½ Big Wells Road and then adjourn to the Council Chambers of City Hall, 81 Elkhorn Road, Sun Valley, Idaho directly thereafter for the required public hearing and all remaining meeting items.

1. **Call To Order**

The Idaho Code requires that, "...A member or employee of a [Planning and Zoning] Commission shall not participate in any proceeding or action when the member or employee or his employer, business partner, business associate, or any person related to him by affinity or consanguinity within the second degree has an economic interest in the procedure or action." Any actual or potential interest in any proceeding shall be disclosed at or before any meeting at which the action is being heard or considered. A knowing violation of this section shall be a misdemeanor.

2. **Public Comment**

Opportunity for the public to talk with the Planning and Zoning Commissioners about general issues and ideas not otherwise agendized below (3 minutes max. each).

3. **Consent Agenda**

4. **New Business**

A. Floyd Town Architects PA for Richard P. Kelter; Public hearing for a **Design Review Application** for the proposed construction of a new 6,383 square foot single-family residence with associated site improvements in the Single-Family Residential (RS-1) Zoning District. Location: 206 ½ Big Wells Rd; Prospector Wells Subdivision Lot 4. Application No: DR 2016-14.

5. **Continued Business**

6. **Discussion Items**

7. **Adjourn**

Meeting Schedule:

Regular Meeting at 9:00 am on Thursday, May 12, 2016

**CITY OF SUN VALLEY
PLANNING AND ZONING COMMISSION
AGENDA REPORT**

From: Abby Rivin, CFM, Associate Planner
Meeting Date: 28 April 2016

DESIGN REVIEW (DR 2016-14)

APPLICANT: Floyd Town Architects PA for Richard P. Kelter

LOCATION: 206 ½ Big Wells Road, Lot 4 Prospector Wells Subdivision

ZONING DISTRICTS: Single-Family Residential (RS-1) Zoning District

REQUEST: Approve the design of a new 6,383 sq ft single-family dwelling.

ANALYSIS: The applicant submitted an application for design review approval for a new 6,383 sq ft, two-story, detached single-family dwelling on Lot 4 in the Prospector Wells Subdivision. The 0.65 acre lot was once developed with a tennis court, which has since been removed.

The project site lies adjacent to two single-family residences to the east and west. The adjacent single-family structure to the west is also owned by the applicant and will be used as the construction management area. The new detached single-family residence is to be developed as a single phase and will include a 2,987 sq ft main level, a 1,522 sq ft upper level, a 976 sq ft attached garage/mechanical room, and a 898 sq ft room above the garage. The structure's exterior materials are log posts, ridge beams, purlins, and siding with cedar fascia. The roofing system is architectural grade composition shingle roofing. The exterior lighting includes both recessed and wall mounted lighting. Both fixtures are compliant with the City's exterior lighting regulations.

The construction of the new single-family dwelling with associate site improvements is in conformance with the purpose and all applicable dimensional regulations of the Single-Family Residential (RS-1) Zoning District. The proposed structure is located on the site to meet all setback requirements to the exterior property lines and to ensure that all applicable maximum height standards are met.

Single-Family Residence Floor Area:

	Proposed Floor Area (sq ft)
Main Level	2,987
Upper Level	1,522
Garage/Mechanical	976
Room Above Garage	898
Total Gross Area	6,383

Lot Area: 28,484 sq ft

Building Footprint Allowed: 3,966 sq ft max. (calculated as per Section 9-2A-31-c)
Building Footprint Proposed: 3,963 sq ft

Applications for design review are subject to standards in SVMC § 9-3A-3.

A. Design and Siting:

*1. The design of proposed improvements is appropriate and compatible to the lot and the surrounding neighborhood. Attention has been given to the location and design of streets, view corridors, privacy of adjacent properties, outdoor spaces, shadows, solar access, view access, lighting, vehicular access, building massing, privacy of other noise generating equipment, openings and doors as these elements impact adjacent properties. **The construction of the new single-family dwelling with associated site improvements is in conformance with all applicable dimensional regulations of the RS-1 Zoning District. No recorded building envelope exists on the site and the proposed structure is located on the site to meet all setback requirements to the exterior property lines. No portion of the structure except for the chimney exceeds 35 feet above adjacent record grade, where a 35 foot maximum is permissible. City Code Section 9-2A-3G-1 excludes chimneys, lighting rods, weather vans, and stacks from the maximum height standards. The structure's maximum proposed height is 35' above record grade with 18% (1,105 sq ft) of the total roof area between 30 and 35 feet (33% maximum is allowed). The proposed residence is compatible in scale with neighborhood homes on similarly sized lots.***

*2. The location and design of the proposed improvements has given consideration to special sites of historical, natural, ecological, architectural, archaeological, and scenic value or significance, including, but not limited to, those identified in the city's comprehensive plan. The essential character of special sites should be preserved and protected with any proposed site or structure improvements. **Not applicable as no special sites are adjacent to the property.***

*3. The siting of the proposed improvements complies with the adopted uniform fire code and any other applicable regulations regarding emergency vehicle access and circulation as set forth in title 7 of this code. **The proposed residence must be protected with an automatic fire suppression system. The outdoor, permanent fire pit must be a non-solid fuel burning, gas appliance. A spark arrestor must be installed on the chimney. A fire key box must be installed in a location approved by the Fire Department. See Fire Department Comment Letter dated 4/5/16.***

*4. The proposed improvements are sited to meet the ingress, egress, and driveway standards and requirements set forth in title 7 of this code, and the siting standard in subsection A1 of this section. **The proposed access meets ingress, egress, and driveway standards. The driveway is 20 feet wide and the furthest point from the structure to the hydrants is within the 150 foot hose reach limit.***

*5. The proposed improvements are sited to take into consideration and to mitigate natural hazards such as floodplains and avalanches as set forth in this chapter. Mitigation measures shall not adversely impact other properties. **The site is not located in a floodplain or avalanche zone.***

6. The siting of the proposed improvements minimizes interference with natural drainage patterns and is designed to minimize adverse impact on other properties. All drainage shall comply with the standards set forth in title 7 of this code; be contained on site, or be connected to drainage easements or rights of way. No drainage shall be diverted off site onto private property. **The majority of drainage is contained on site through two drywells and one catch basin. The area immediately adjacent to the right-of-way will be directed to the existing drainage that is established along Big Wells Road.**

7. The site design provides for adequate space or means to maintain snow storage. Snow storage areas are in accordance with the requirements set forth in article G of this chapter. **The applicant has proposed 2,108 sq ft of snow storage area, which is 235.5 sq ft more than required by code.**

8. Appropriate address numbers and monuments are shown in accordance with the requirements as set forth in article G of this chapter. **The address must be posted in a place that is visible from Big Wells Road on contrasting background to be visible both day and night and in all weather conditions. Any planned permanent address monument shall meet all applicable requirements of City Code Section 9-3G-14, including letter size and height.**

9. The siting of the proposed improvements, including streets and driveways, where applicable, minimizes hillside visibility and, where applicable, skylining by using a combination of stepped building forms, natural colors and materials, sloped roofs, and landscaping. **Not applicable.**

10. Every lot shall be designed to be connected to public water and sewer systems, unless the property is over five hundred feet (500') from a public system as measured from the closest property line and an alternative utility system is approved by the city engineer. **The new residence will be connected to existing water and sewer hookups.**

B. Grading:

1. Essential grading is shaped to blend with natural landforms and to minimize the necessity of padding and/or terracing of building sites. Cut and fill are shaped, rounded, minimized and nonuniform to simulate natural existing contours. **The proposed design of the structure is integrated into the sloping grade minimizing visual impacts.**

2. Areas which are not well suited for development because of existing soil conditions, ridges, ridgelines, ridge tops, knolls, saddles, summits, wildlife habitat, natural features or hydrology are allocated for open site area or recreational uses. **Not applicable as no ridges or prominent terrain features exist directly on the site.**

3. The development is in accordance with the design criteria, as applicable, as set forth in article H of this chapter and title 7 of this code. **Grading has been shaped to coincide with the natural landscape and cut and fill has been minimized. Drainage has been contained largely on-site.**

C. Architectural Quality:

1. The proposed project maintains the quality of materials and design that is appropriate to the location, the lot and the neighborhood. **The house utilizes high quality, natural materials that are**

appropriate for the neighborhood and complement the surrounding landscape. Landscaping adequately screens the structure and the siting protects view corridors.

2. *The proposed improvements conform to natural landscape features by minimizing the degree of cuts and fills. The project does not significantly alter the site's existing grade.*

3. *The plan includes the location of all exterior lighting. All lighting shall be directed onto the subject lot and shall not be directed towards other properties. The exterior lighting on the residence includes both recessed and wall mounted fixtures. Sheets A-1 and A-2 of the design review submittal show the location and height of all exterior lighting fixtures.*

4. *Building design includes weather protection that prevents water from dripping or snow from sliding onto pedestrian or vehicle areas or onto adjacent properties. The new roof includes snow clips.*

5. *Any exterior addition or alteration to an existing building is compatible with the design character of the original building. Any new detached structure is compatible with the design character of the existing buildings and/or structure(s). Not applicable.*

6. *All improvements are designed to minimize light and sound emanating to other properties as set forth in article B of this chapter. All exterior lighting is designed and located to prevent and minimize glare, light trespass, and sky glow. The chimney glass of the wall mounted fixtures must be made translucent so that the shape, style, and source of the bulb is not visible.*

7. *Rooftop chimneys and utilities are enclosed and design is consistent with the primary structure. The rooftop chimney design is consistent with the primary structure with the use of the stone veneer and the enclosure of the flue with a copper chimney cap.*

D. Pedestrian and Vehicle Circulation Design: The new single-family residence will be accessed from a driveway and motor court off of the existing cul-de-sac on Big Wells Road. The driveway and motor court provide necessary access, parking, and circulation requirements.

E. Landscaping Quality: Three groupings of new trees adjacent to Big Wells Road will enhance screening. All proposed materials are native species. Following a tree assessment, the existing dead or diseased trees on the lot will be removed and the healthy trees will be transplanted.

F. Irrigation Limits: The irrigated area of the site is .38 acres, which is less than the half-acre maximum as required by Code.

G. Fences, Walls, Retaining Walls, Screens, and Dog Runs: The proposed dry stack retaining walls are under the 3 foot maximum limit and are stepped with sufficient planting to minimize visual mass.

H. Sign Design: Not applicable.

I. Exterior Lighting: All proposed exterior lighting complies with the City's Exterior Lighting Regulations.

RECOMMENDATION: Staff recommends approval of DR2016-14.

RECOMMENDED MOTION: "I move to approve DR2016-14 to allow for construction of a new 6,383 sq ft single-family residence with associated site improvements, pursuant to the Findings of Fact."

ALTERNATIVE ACTIONS: Move denial of the application and draft findings supporting denial.

ATTACHMENTS:

1. Findings of Fact
2. Application Materials



Date:4/5/16

To: Jae Hill, Abby Rivin

Re: 2016-14/Kelter Residence/206 ½ Big Wells Rd .

I have reviewed the submitted plans for the Kelter residence at 206 ½ Big Wells Rd .

The Fire Department has the following comments:

1. The plans indicate the 6,383 square foot structure the residence shall be protected by an automatic fire suppression system.
2. The proposed outdoor, permanent fire pit shall be non-solid fuel burning, gas appliance (outdoor fireplace) to meet the requirements of City Code.
3. A spark arrestor shall be installed on all of the chimney to meet city code and fire code.
4. Fire Key box shall be installed in a customary location that is approved by the fire department.
5. The address shall be posted in a place that is visible from the street and shall be on contrasting background so as to be visible both day and night and in all weather conditions. The numbers shall be a minimum of 6 inches tall. If an address monument is used, then the numbers shall be no lower than 4 feet from finished grade. The requirement for posting numbers on the residence shall also be in effect and shall be posted in the usual and customary location.

No Changes shall be made to the plans without approval of the Fire Code Official or the Fire Chief.

Reid Black Fire Code Official

City of Sun Valley Fire Department

The Sun Valley Fire Department Mission is to do no harm, survive and be courteous. We accomplish this through compassionate, professional response to all situations where we are called for assistance.

**FINDINGS OF FACT AND CONCLUSIONS OF LAW
CITY OF SUN VALLEY PLANNING & ZONING COMMISSION
DESIGN REVIEW**

Project Name: **Design Review Application DR2016-14**

Applicant: **Floyd Town Architects for Richard P. Kelter**

Location: **206 ½ Big Wells Road, Lot 4 Prospector Wells Subdivision**

Zoning District: **Single-Family Residential (RS-1) Zoning District**

Project Description: The applicant submitted an application for design review approval for a new 6,383 sq ft, two-level, detached single-family dwelling on Lot 4 in the Prospector Wells Subdivision. The 0.65 acre lot was once developed with a tennis court, which has since been removed. The new detached single-family residence is to be developed as a single phase and will include a 2,987 sq ft main level, a 1,522 sq ft upper level, a 976 sq ft attached garage/mechanical room, and a 898 sq ft room above the garage. The structure's exterior materials are log posts, ridge beams, purlins, and siding with cedar fascia.

The construction of the new single-family dwelling with associate site improvements is in conformance with the purpose and all applicable dimensional regulations of the RS-1 Zoning District. The RS-1 Zoning District allows single-family residential construction as a permitted use. The proposed structure is located on the site to meet all setback requirements to the exterior property lines and to ensure that all applicable maximum height standards are met.

All aspects of the project have been reviewed by the Planning Commission and staff to ensure compliance with all applicable standards including minimum setbacks, building envelope, lot coverage, maximum height, snow storage, landscape irrigation, exterior lighting regulation compliance, screening of utilities, and hillside preservation provisions. The project drawings stamped received by the City of Sun Valley on March 8, 2016 detail the design of the new single-family residence.

Required Findings: In order to approve a design review application and based on the standards set forth in **Sun Valley Municipal Code, Title 9, Chapter 3A (DESIGN REVIEW REGULATIONS)**, the Community Development Director shall make the following findings pursuant to **Development Code Section 9-5B-3 (DESIGN REVIEW)**.

1. The proposed design is in conformance with the purpose of the zoning district and all dimensional regulations of that district. **The new single-family dwelling with associated site improvements is in conformance with the purpose and dimensional regulations of the zoning district because that design complies with all applicable standards appropriate for single-family structures within the Single-Family Residential (RS-1) Zone including setbacks, height, and lot coverage.**
2. The proposed design is in conformance with the standards for design review as set forth in Chapter 3A (DESIGN REVIEW REGULATIONS) of this Title. **The structure is in conformance**

with all applicable standards for design review because it is appropriately and sensitively located on the existing platted lot. The high quality natural materials and colors utilized are consistent with the surrounding neighborhood and the greater Sun Valley area.

3. The proposed design does not significantly impact the natural, scenic character and aesthetic value of hillsides, ridges, ridgelines, ridge tops, knolls, saddles, and summits in the City. **No ridges or prominent terrain features exist directly on the site.**
4. The proposed design is in context and complimentary to adjacent properties. **The proposed new single-family residence is similar in size and massing to many of the new structures being constructed in the Fairway neighborhood and the city.**
5. The proposed design is compatible with the community character and scale of the neighborhood. **The design of the new single-family dwelling is complementary to existing development on adjacent lots. The bulk and massing of the structure is consistent with other dwellings in the Fairway neighborhood. The quality materials and colors are consistent with the greater Sun Valley area.**
6. The proposed design adheres to standards for the protection of health, safety, and general welfare. **The project proposal has adequate snow protection, snow storage areas, connection to public utilities, and other characteristics which protect the health and safety of the neighborhood. As conditioned, the project meets the requirements of the Sun Valley Fire Department for safety and access.**
7. The proposed design is of quality architectural character and materials. **The proposed design of the structure is integrated into the sloping grade minimizing visual impacts.**
8. The use is not in conflict with the Comprehensive Plan or other adopted plans, policies, or ordinances of the City. **The subject site is designated as Low Density Residential by the Future Land Use Map of the Comprehensive Plan. The Single-Family Residential (RS-1) Zoning District implements the Low Density Residential Land Use Designation and the proposed single-family dwelling is consistent with all applicable provisions of the RS-1 Zoning District.**

CONDITIONS OF APPROVAL

1. Applicant and their representatives shall comply with all applicable City codes and ordinances, including those related to noise (Section 4-4D-2 and 3) and water pollution control (Section 4-4C-2).
2. Design Review approval is good for one year from the date of approval, unless extended pursuant to Sun Valley Municipal Code Section 9-5A-8.
3. Any requirements and/or approvals of private associations or other entities are the sole responsibility of the property owner.
4. Any permits issued during the 10-day appeal period provided for under section 9-5A-9 may be subject to a stop work order in the event of an appeal. Any work commenced during the appeal period shall be at the applicant's own risk.
5. Approval is specific to the project drawings and the construction management plan dated received by the City of Sun Valley on March 8, 2016.
6. An automatic fire suppression system as well as a spark arrestor on the chimney must be installed to the satisfaction of the Fire Department.
7. The proposed outdoor, permanent fire pit shall be non-solid fuel burning, gas appliance.
8. A fire key box shall be installed in a location that is approved by the Fire Department.
9. The address shall be changed from 206 1/2 to 204 Big Wells Road.
10. The address monument shall be posted in a place that is visible from Paintbrush Road and on contrasting background to be visible both day and night and in all weather conditions. Any planned permanent address monument shall meet all applicable requirements of City Code Section 9-3G-14, including letter size and height.
11. Big Wells Road shall be kept free and clear for emergency vehicle access at all times. Any significant access issues shall be brought to the attention of the City and project neighbors in advance.
12. No modifications to the approved plans shall be made without written permission of the Building Official and/or Fire Chief.

CONCLUSIONS OF LAW

Therefore, this project does meet the standards for approval under Title 9, Chapter 3A, City of Sun Valley Municipal Code provided the conditions of approval are met. Design Review approval shall expire 365 days from the date of approval, unless extended as per Municipal Code Section 9-5A-8.

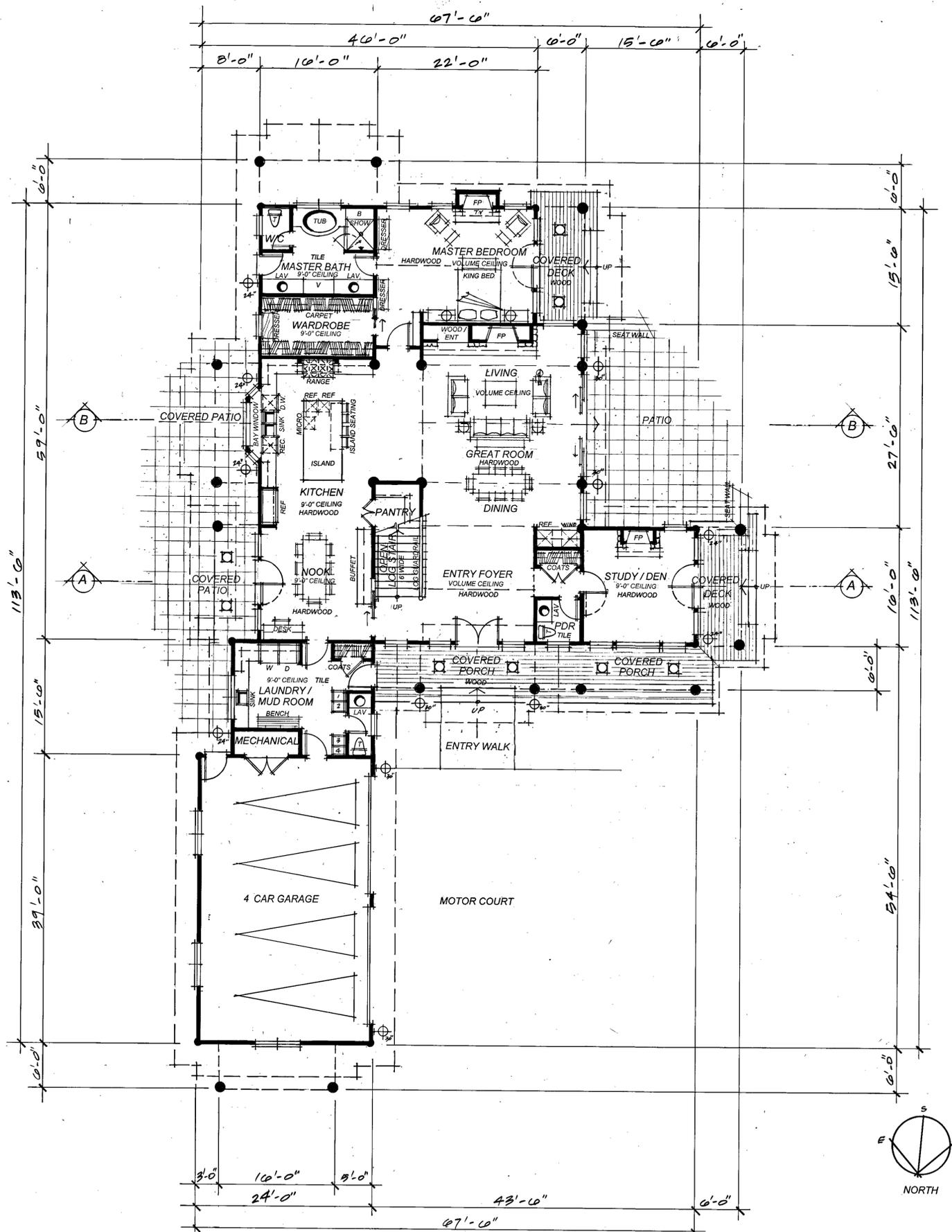
DECISION

Therefore, the Sun Valley Planning and Zoning Commission approves this Design Review Application No. DR2016-14.

Dated this 28th day of April, 2016.

Ken Herich, Chairman
Sun Valley Planning and Zoning Commission

Date Findings of Fact signed _____



MAIN LEVEL FLOOR PLAN
 1/8" = 1'-0"

ZONING AND CLASSIFICATION

CURRENT ZONING OF PROPERTY: RS-1 SINGLE FAMILY RESIDENTIAL
 OCCUPANCY CLASSIFICATION: GROUP R

BUILDING COVERAGE

MAXIMUM ALLOWABLE BUILDING FOOTPRINT 3,966.0 S.F.
 28,484.0 S.F. LOT - 10,890.0 = 17,594.0 - 12 = 1,468.0 (ALLOWED) + 2,500 (ALLOWED) = 3,966.0 S.F. MAXIMUM ALLOWABLE BUILDING FOOTPRINT

PROPOSED BUILDING FOOTPRINT 3,962.5 S.F.
 2,986.5 S.F. LOWER LEVEL FOOTPRINT + 976.0 S.F. GARAGE / MECH. FOOTPRINT = 3,962.5 S.F. PROPOSED BUILDING FOOTPRINT

ELECTRICAL LEGEND / NOTES

□ RECESSED LIGHT FIXTURE = 6 TOTAL
 ⊕ WALL MOUNT SHIELDED LIGHT FIXTURE 30" = 6 TOTAL / 24" = 4 TOTAL
 NOTE: ALL EXTERIOR LIGHTING IS RECESSED INDIRECT LIGHTING OR WALL MOUNT LIGHT FIXTURE AS INDICATED ON PLANS. WALL MOUNT LIGHTING WILL BE AN INDIRECT WALL MOUNT SHIELDED LIGHT FIXTURE. THE SOURCE OF LIGHT SHALL NOT BE VISIBLE. (40 W. BULB MAX) (450 LUMENS) BULB MAX.
 CENTER OF WALL MOUNT FIXTURES TO BE MOUNTED 7'-0" ABOVE GARAGE SLAB OR FINISH FLOOR

SQUARE FOOTAGE

MAIN LEVEL LIVING AREA	2,986.5 S.F.
UPPER LEVEL LIVING AREA	1,522.0 S.F.
TOTAL LIVING AREA	4,508.5 S.F.
GARAGE / MECH	976.0 S.F.
BONUS ROOM ABOVE GARAGE	898.0 S.F.

ROOM SIZES

ENTRY FOYER	15' X 15'
STUDY / DEN	15' X 15'
GREAT ROOM	22' X 28'
KITCHEN	18' X 18'
KITCHEN ISLAND	5' X 10'
NOOK	15' X 15'
MUD / LAUNDRY	15' X 19'
MASTER BEDROOM	22' X 15'
MASTER BATH / WARDROBE	15' X 20'
LOFT	22' X 15'
GUEST SUITE 1	15' X 15'
GUEST SUITE 2	15' X 15'
BONUS ROOM	23' X 38'
GARAGE	23' X 38'

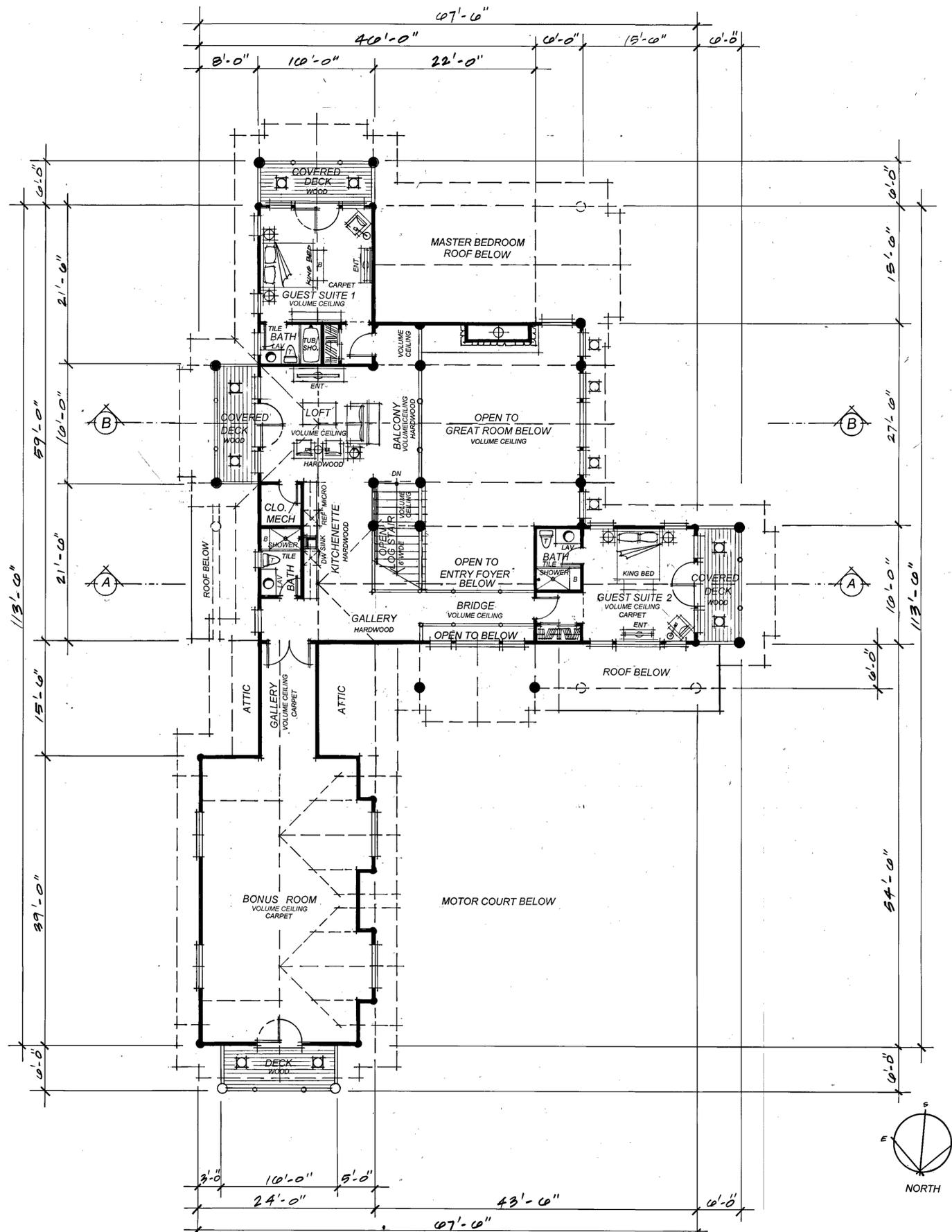
CONSTRUCTION TYPE

TYPE V-B - UNPROTECTED WOOD FRAME (EXAMPLES OF TYPE V-N CONSTRUCTION ARE SINGLE FAMILY HOMES AND GARAGES. THEY OFTEN HAVE EXPOSED WOOD SO THERE'S NO FIRE RESISTANCE)



FLOYD TOWN ARCHITECTS PA
 P.O. Box 3716 • Hailey, Idaho 83333 • 208.788.0091

- 01-08-10
- 01-08-10 REV.
- 01-12-10 REV.
- 01-28-10 REV.
- 02-10-10 REV.
- 02-24-2010 REV.
- 03-08-2010 S.V. P.R. SUB



ELECTRICAL LEGEND / NOTES

□ RECESSED LIGHT FIXTURE = 12 TOTAL

⊕ WALL MOUNT SHIELDED LIGHT FIXTURE = 0 TOTAL

NOTE: ALL EXTERIOR LIGHTING IS RECESSED INDIRECT LIGHTING OR WALL MOUNT LIGHT FIXTURE AS INDICATED ON PLANS. WALL MOUNT LIGHTING WILL BE AN INDIRECT WALL MOUNT SHIELDED LIGHT FIXTURE. THE SOURCE OF LIGHT SHALL NOT BE VISIBLE. (40 W. BULB MAX) (450 LUMENS) BULB MAX.

CENTER OF WALL MOUNT FIXTURES TO BE MOUNTED 7'-0" ABOVE GARAGE SLAB OR FINISH FLOOR.

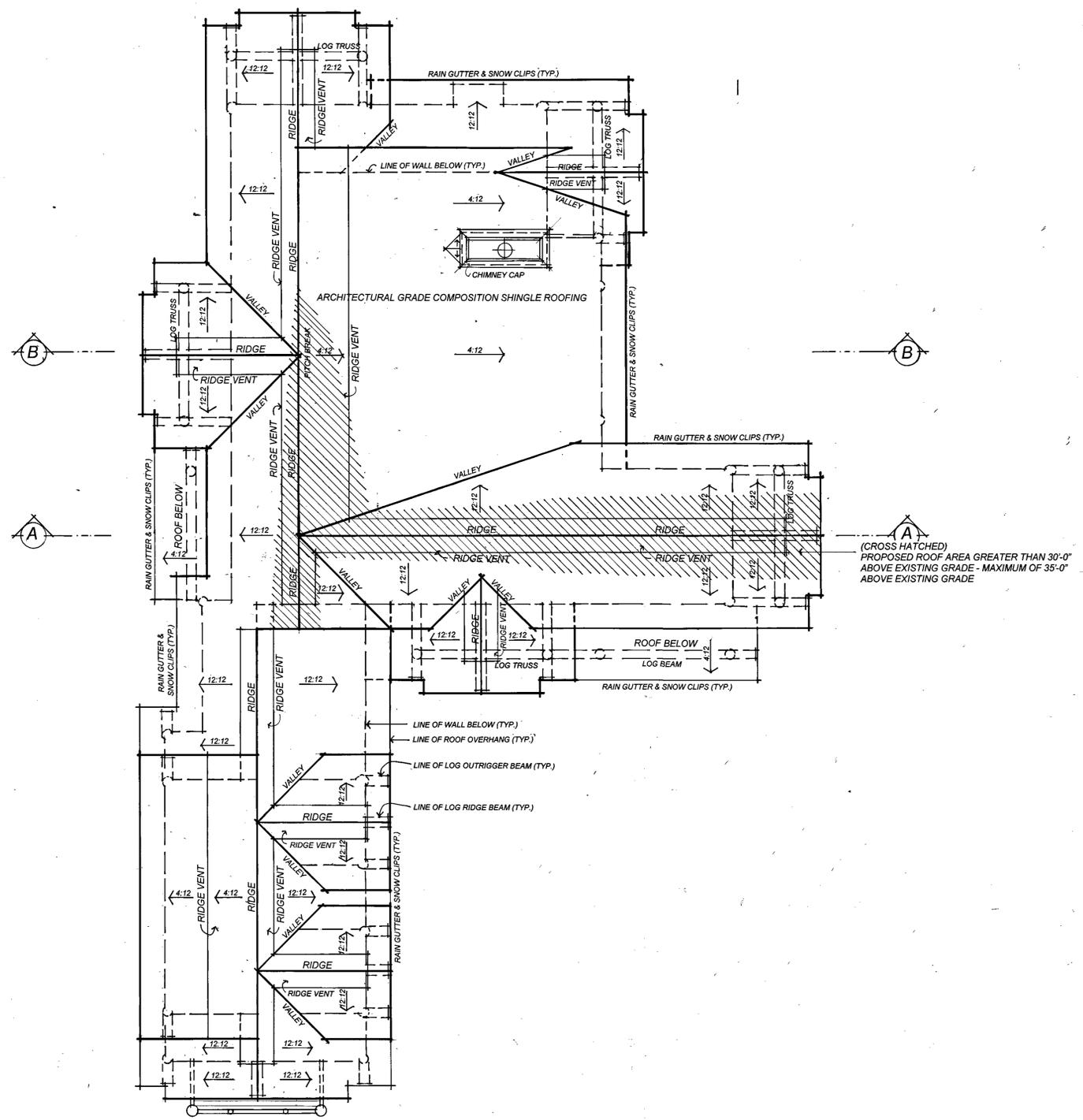
UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"



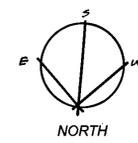
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01-08-10
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 01-12-10 REV.
 01-28-10 REV.
 02-10-10 REV.
 02-24-2010 REV.
 03-08-2010 S.V. P.R. SUB



ROOF PLAN

1/8" = 1'-0"



ROOF CALCULATIONS

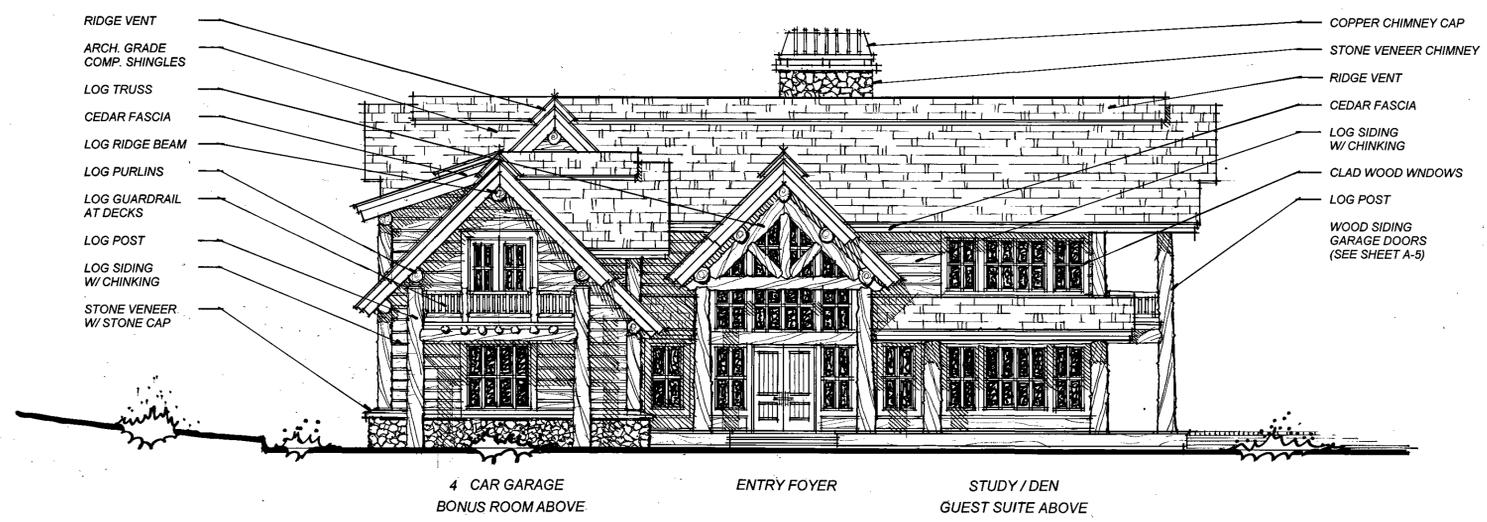
NOTE: NO MORE THAN 1/3 OF THE TOTAL ROOF AREA CAN EXCEED 30' - MAXIMUM OF 35'

TOTAL ROOF AREA	6,101.00 S.F.
MAXIMUM ALLOWABLE ROOF AREA GREATER THAN 30' ABOVE EXISTING GRADE (MAX=35' ABOVE EXISTING GRADE)	2,013.3 S.F. (6,101 X .33 = 2,013.3 S.F.)
PROPOSED ROOF AREA GREATER THAN 30' ABOVE EXISTING GRADE (MAX=35' ABOVE EXISTING GRADE)	1,104.5 S.F.



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01-24-10
 01-28-10 REV.
 02-10-10 REV.
 02-24-2016 REV.
 03-08-2016 E.V.P.R. SUB



"BIG WELLS ROAD ELEVATION"

NORTH ELEVATION

1/8" = 1'-0"



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01-08-10
 01-08-10 REV.
 01-12-10 REV.
 01-28-10 REV.
 02-10-10 REV.
 02-24-2010 REV.
 03-08-2010 S.V.P.R. SUB.



4 CAR GARAGE LAUNDRY / MUD ROOM STUDY / DEN GREAT ROOM MASTER BEDROOM
 BONUS ROOM ABOVE GUEST SUITE ABOVE

REFER TO NORTH ELEVATION (SHEET A-4) FOR TYPICAL ELEVATION NOTES

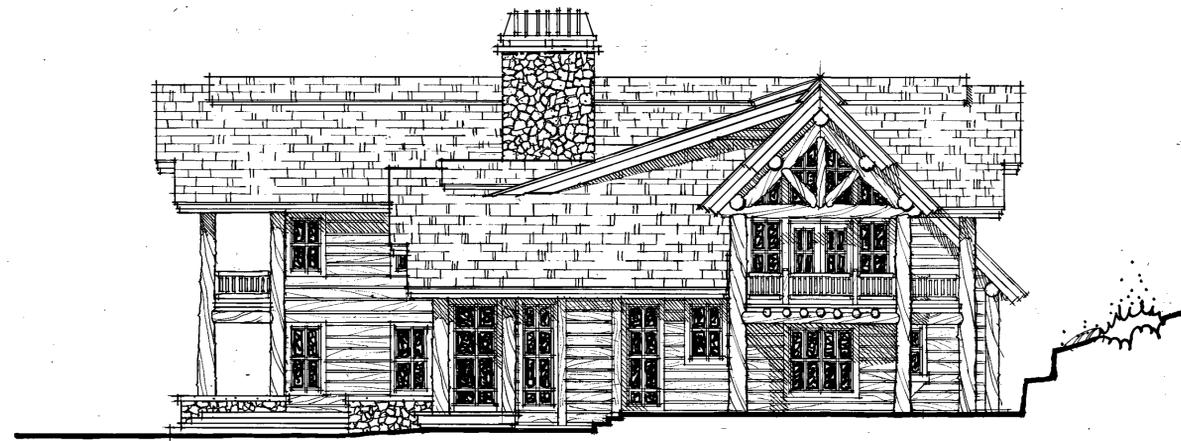
WEST ELEVATION

1/8" = 1'-0"



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01-09-10
 01-10-10 REV.
 01-12-10 REV.
 01-28-10 REV.
 02-10-10 REV.
 02-24-2010 REV.
 03-08-2010 S.V.D.R. SUB.



STUDY / DEN GREAT ROOM MASTER BEDROOM MASTER BATH GARAGE
 GUEST SUITE ABOVE GUEST SUITE ABOVE

REFER TO NORTH ELEVATION (SHEET A-4) FOR TYPICAL ELEVATION NOTES

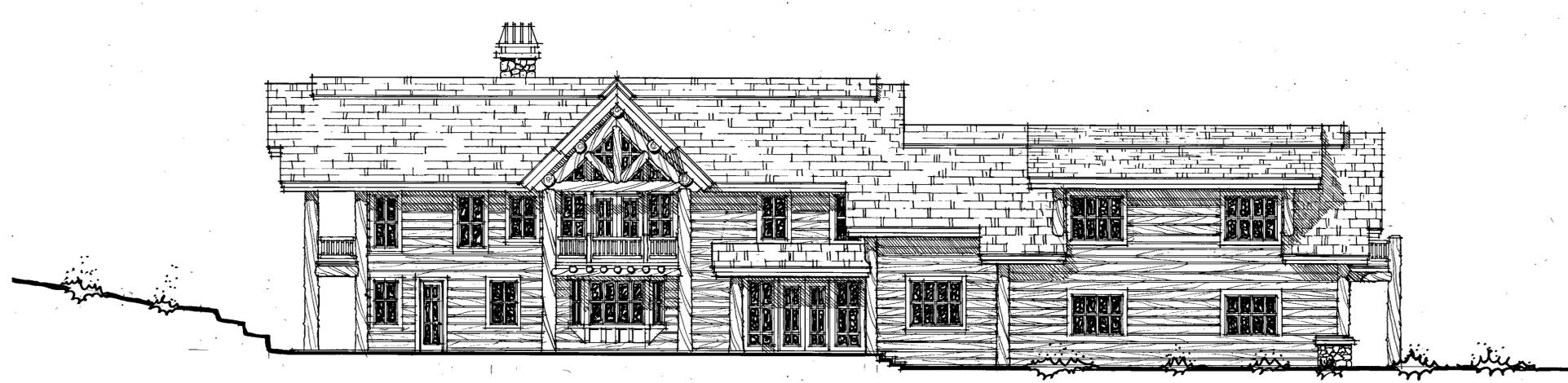
SOUTH ELEVATION

1/8" = 1'-0"



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01-18-10
 01-28-10 REV.
 02-10-10 REV.
 02-24-2010 REV.
 03-08-2010 S.V.D.R. SUB.



MASTER BATH WARDROBE KITCHEN NOOK LAUNDRY / MUD ROOM 4 CAR GARAGE
 GUEST SUITE ABOVE BATH ABOVE LOFT ABOVE BATH ABOVE GALLERY ABOVE BONUS ROOM ABOVE

REFER TO NORTH ELEVATION (SHEET A-4) FOR TYPICAL ELEVATION NOTES

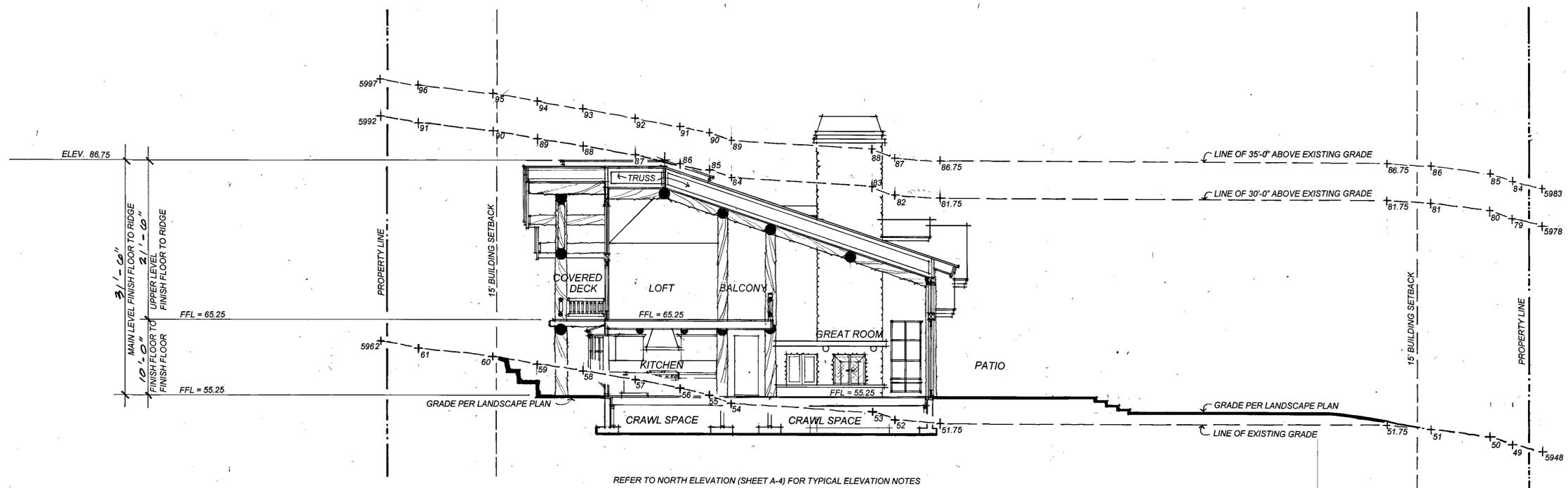
EAST ELEVATION

1/8" = 1'-0"



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01-28-2010
 02-10-2010 REV.
 03-24-2010 REV.
 03-08-2010 S.V.D.R. SUB.



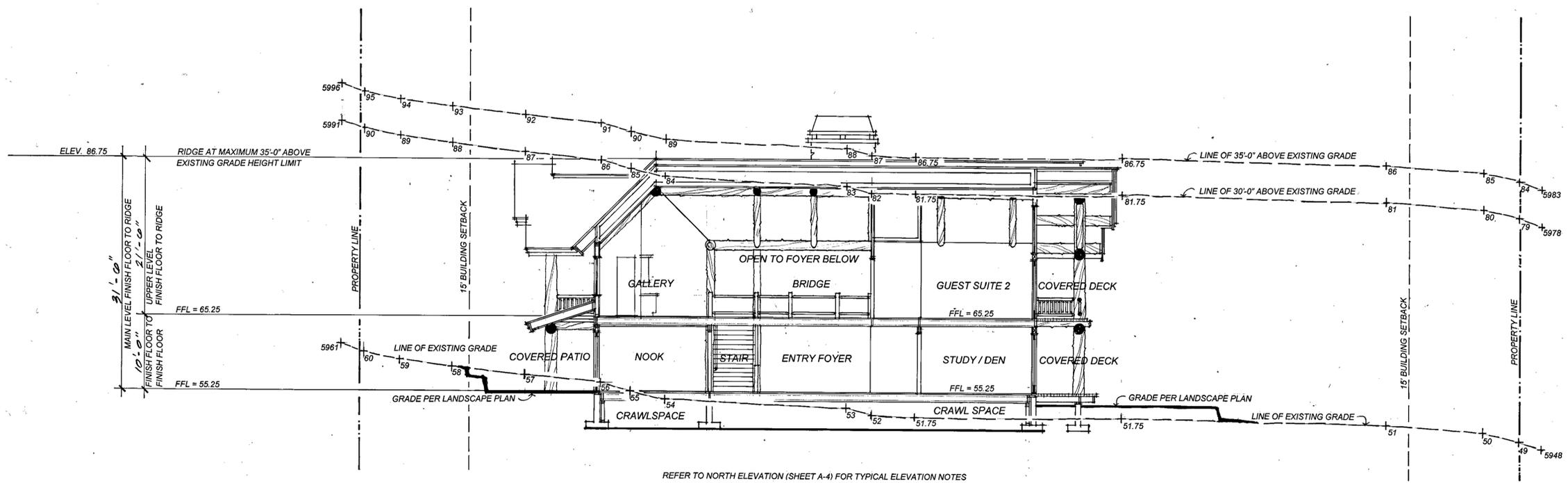
BUILDING SECTION B

1/8" = 1'-0"



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02-10-2010
 02-24-2010 REV.
 03-08-2010 S.V.D.R. SUB



REFER TO NORTH ELEVATION (SHEET A-4) FOR TYPICAL ELEVATION NOTES

BUILDING SECTION A

1/8" = 1'-0"

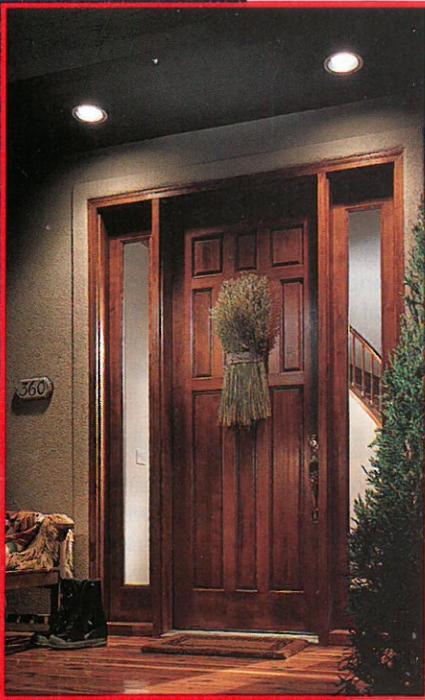


FLOYD TOWN ARCHITECTS PA
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02-20-2018
 02-24-2016 REV.
 03-08-2016 S.V. P.R. SUB.

HALO®

RECESSED LIGHTING



BAFFLES

■ Downlighting can be shaped and controlled to achieve precise lighting effects. Baffle trims trap and shape light to minimize glare and reduce brightness. Baffles narrow the focus of the downlighting beam and provide control for reflector style (R, BR and PAR) lamps.



7"

LAMP MATRIX

7"	H7ICT, H7ICAT	40W A19
----	---------------	---------

40 WATT (450 LUMENS) BULB MAX.

HALO RECESSED INCANDESCENT



H7ICT

IC HOUSING

AIR-TITE™ IC HOUSING

DESCRIPTION

For installations where the housing will be in direct contact with ceiling insulation. Integral thermal protector provides positive protection against overlampping. The H7ICAT AIR-TITE housing meets Restricted Air Flow requirements.

Housing Features

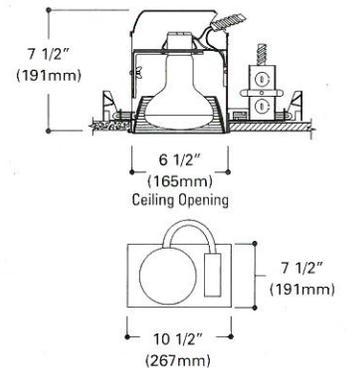
- Integral thermal protector guards against improper lampping.
- H7ICAT housing is gasketed to prevent air flow from heated or air conditioned spaces.
- Adjustable socket bracket assures proper and consistent lamp positioning.
- Junction box is listed for through branch circuit wiring and has seven 1/2" knockouts with true pry-out slots.

- Pre-installed, captive bar hangers allow housing to be positioned at any point within a 24" joist span. Score lines provided for easy field shortening for 12" joists. Unique arrowhead design provides "Nailless" installation. Bar hangers can be repositioned 90° without tools. Hangers fit onto T-Bar spline for quick alignment and can be permanently secured with optional TB7 T-Bar clip.
- Socket plug provides protection against paint overspray

Installation Features

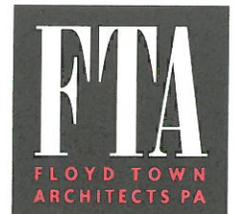
- 7 1/2" height allows use in 2" x 8" joist construction.
- H7ICT adjusts for ceilings up to 2" (H7ICAT up to 1") thick.

DIMENSIONS



- IP rated
- Meets State of California Title 24 requirements
- H7ICAT meets State of Washington Restricted Air Flow requirements

KELTER RESIDENCE
LOT 4
PROSPECTOR WELLS SUBDIVISION
SUN VALLEY, IDAHO





Governor® Flush Mount



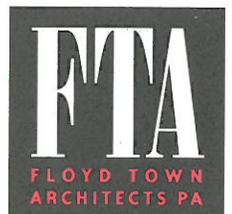
NOTE:
 THIS CHIMNEY TO BE FROSTED
 (TRANSLUCENT) GLASS SO THAT
 THE SHAPE, STYLE, AND SOURCE
 OF THE BULB IS NOT VISIBLE.
 40 WATT (450 LUMENS) BULB MAX.

Standard Lantern Sizes

Height	Width	Depth
24.0"	6.0"	6.5"
30.0"	7.5"	8"
36.0"	9.0"	9.5"

CENTER OF FIXTURES TO BE MOUNTED 7'-0" ABOVE GARAGE SLAB OR FINISH FLOOR

KELTER RESIDENCE
 LOT 4
 PROSPECTOR WELLS SUBDIVISION
 SUN VALLEY, IDAHO



ROOFING: Arch. Grade Comp. Shingles - Weathered Wood

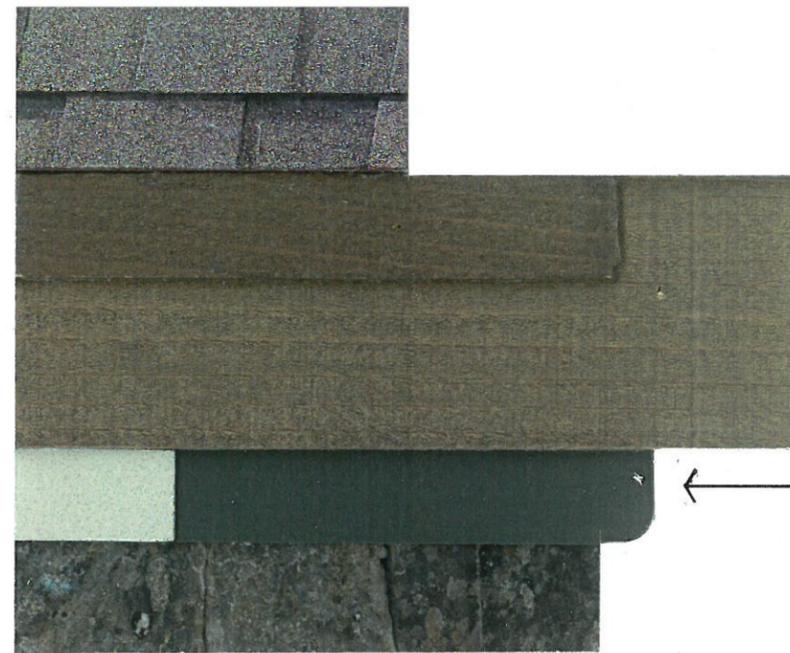
FASCIA: Cabot's Cordovan Brown - stain

LOG BEAMS / PURLINS / TRUSSES
LOG SIDING / GARAGE DOORS: Cabot's Bark - stain

CHINKING: Log Jam - Buff

STONE VENEER: Montana Moss Rock

ALUMINUM CLAD WOOD WINDOWS: Forest Green



RIDGE VENT
ARCH. GRADE
COMP. SHINGLES
LOG TRUSS
CEDAR FASCIA
LOG RIDGE BEAM
LOG PURLINS
LOG GUARDRAIL
AT DECKS
LOG POST
LOG SIDING
W/ CHINKING
STONE VENEER
W/ STONE CAP

COPPER CHIMNEY CAP
STONE VENEER CHIMNEY
RIDGE VENT
CEDAR FASCIA
LOG SIDING
W/ CHINKING
CLAD WOOD WNDOWS
LOG POST
WOOD SIDING
GARAGE DOORS
(SEE SHEET A-5)



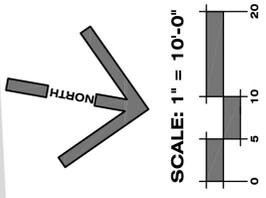
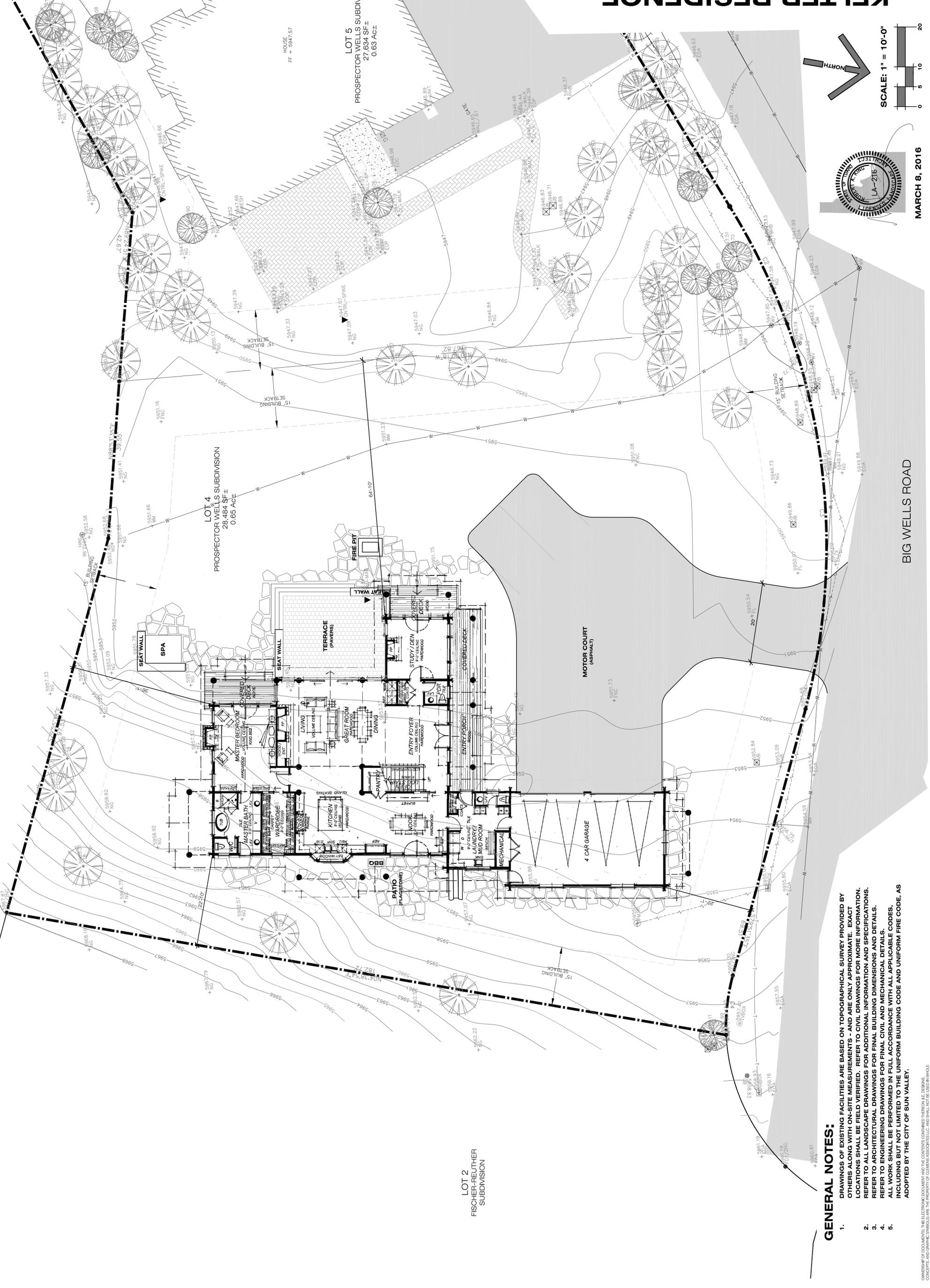
4 CAR GARAGE
BONUS ROOM ABOVE

ENTRY FOYER

STUDY / DEN
GUEST SUITE ABOVE

KELTER RESIDENCE

SUN VALLEY, IDAHO
CLEMENS ASSOCIATES LLC LANDSCAPE ARCHITECTURE + DESIGN PO BOX 755 KETCHUM, IDAHO 83340 208.726.5331



MARCH 8, 2016

BIG WELLS ROAD

- GENERAL NOTES:**
1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
 2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
 3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
 4. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 5. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF SUN VALLEY.

CONCEPTS AND GRAPHIC SYMBOLS ARE THE PROPERTY OF CLEMENS ASSOCIATES LLC AND SHALL NOT BE USED IN WHOLE OR IN PART BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES LLC.

LOT 2
FISCHER-REUTHER
SUBDIVISION

LOT 4
PROSPECTOR WELLS SUBDIVISION
28,484 SF ±
0.65 AC ±

LOT 5
PROSPECTOR WELLS SUBDIVISION
27,634 SF ±
0.63 AC ±

HOUSE
FF # 5947.57

LANDSCAPE LEGEND

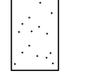
	EVERGREEN TREES
15	SUBALPINE FIR, <i>Abies lasiocarpa</i>
10 @ 10'	
2 @ 12'	
2 @ 14'	
2 @ 16'	
1 @ 18'	
1 @ 16'	
5	DOUGLAS FIR, <i>Pseudotsuga menziesii</i>
2 @ 12'	
2 @ 14'	
1 @ 16'	

	EVERGREEN TREES - TRANSPANTED*
15 1/2"	COLORADO SPRUCE, <i>Picea pungens</i>
8" - 14" cal.	
*TO BE DETERMINED	

	DECIDUOUS TREES
15	QUAKING ASPEN, <i>Populus tremuloides</i>
10 @ 10'	
2 @ 12'	
2 @ 14'	
2 @ 16'	
5	GINNALA MAPLE, <i>Acer ginnala</i>
5	6" B/B'S

	SHRUBS
50	TO BE DETERMINED
50 @ 5 CAL.	

	PERENNIAL BED
1,000 sq ft	VARIETY - NATIVE/NATURALIZED SPECIES
18" o.c.	Beds Prepared with Planting Mix
	Consisting of 50% Compost/50% Top-Soil, and ADEK
	Fertilizer @ 10 lbs / 1000 sq ft. Per Manufacturer's Specified
	Application Rates.
	ORNAMENTAL GRASSES

	LAWN - FESCUE SOD
5,500 sq ft	FINE FESCUE MIX (OR EQUIVALENT) - TO BE DETERMINED

	NATURAL GRASSES*
11,500 sq ft	GENERAL HYDROSEED MIX (100 lbs / acre):
10,000 sq ft	25% CANADIAN BLUEGRASS, <i>Poa compressa</i>
	25% IDAHO FESCUE, <i>Festuca idahoensis</i>
	25% SHEEP FESCUE, <i>Festuca ovina</i>
	25% OTHER HYDROSEED MIX - Shredded Azevedo (100 lbs / acre):
1,800 sq ft	25% CHEROKEE RED FESCUE, <i>Festuca rubra</i>
	25% SHEEP FESCUE, <i>Festuca ovina</i>
	25% IDAHO FESCUE, <i>Festuca idahoensis</i>
	*INCLUDES AREAS ON LOT 5 - TO BE RESEED AS NEEDED.

	LANDSCAPE LIGHTING
12	STEP LIGHTS - RECESSED IN SITE WALLS
12	SP1-GDG-30W-SQ-SH (MATTE BRONZE)
5	SP1-GDG-24-SH (MATTE BRONZE)
	BOLLARD - SWITCHED OUTLET - HOLIDAY LIGHTING

	PLANTERS
12	TO BE DETERMINED
	(NOTE: Provide Drip/Irrigation)

LANDSCAPE + PLANTING NOTES:

- LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
- ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
- PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.
- ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
- REFER TO ADDITIONAL MATERIALS AND SPECS INCLUDING IRRIGATION PLAN AND PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

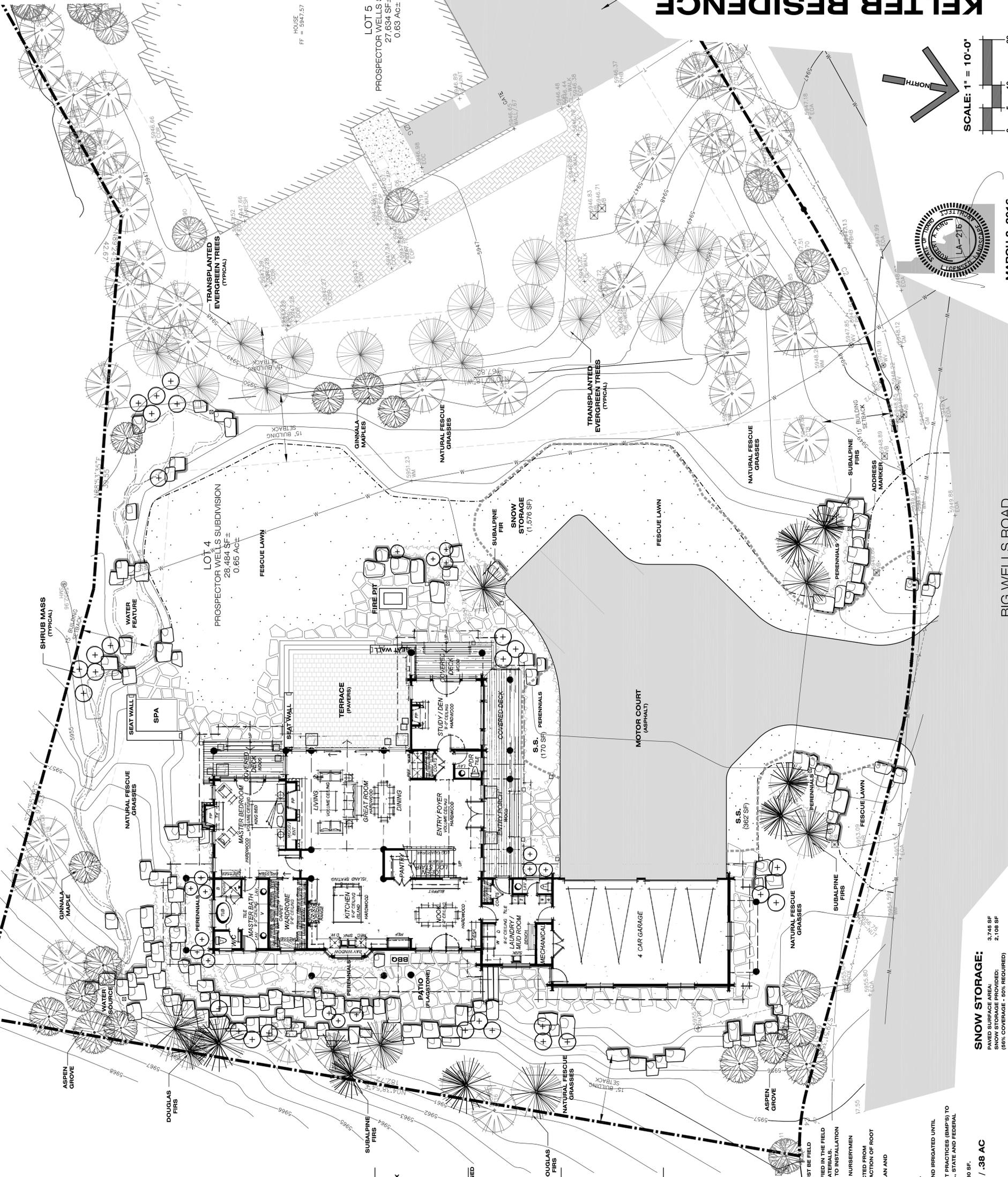
IRRIGATION NOTES:

- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM.
- REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS.
- ALL DISTURBED AREAS TO BE RE-VEGETATED WITH NATURAL GRASSES AND IRRIGATED UNTIL ESTABLISHED.
- PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMP'S) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- TOTAL AREA UNDER PERMANENT IRRIGATION NOT TO EXCEED 1 ac / 21,780 SF.

AREA UNDER PERMANENT IRRIGATION = 16,500 SF / .38 AC
 TOTAL LOT: 28,484 SF
 FOOTPRINT - HARDSCAPING: 12,000 SF
 TOTAL AREA OF LANDSCAPING: 16,484 SF / .38 AC

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LANDSCAPE PLAN

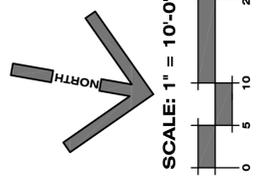


KELTER RESIDENCE

LOTS 4 & 5 PROSPECTOR WELLS SUB.

CLEMENS ASSOCIATES, LLC LANDSCAPE ARCHITECTURE + DESIGN PO BOX 765 KETCHUM, IDAHO 83340 208.726.5331
 SUN VALLEY, IDAHO

MARCH 8, 2016



BIG WELLS ROAD

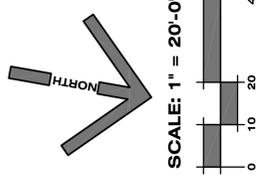
SNOW STORAGE:
 PAVED SURFACE AREA: 3,746 SF
 SNOW STORAGE PROVIDED: 2,108 SF
 (50% COVERAGE - 50% REQUIRED)

AREA UNDER PERMANENT IRRIGATION = 16,500 SF / .38 AC
 TOTAL LOT: 28,484 SF
 FOOTPRINT - HARDSCAPING: 12,000 SF
 TOTAL AREA OF LANDSCAPING: 16,484 SF / .38 AC

OWNERSHIP OF DOCUMENTS: THE CONTENTS OF THIS PLAN ARE THE PROPERTY OF CLEMENS ASSOCIATES, LLC AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION OF CLEMENS ASSOCIATES, LLC.

KELTER RESIDENCE

SUN VALLEY, IDAHO
CLEMENS ASSOCIATES LLC LANDSCAPE ARCHITECTURE + DESIGN PO BOX 755 KETCHUM, IDAHO 83340 208.726.5331



MARCH 8, 2016



LEGEND

- RESTROOMS
- DUMPSTER
- OFFICE TRAILER
- MATERIAL STORAGE
- PARKING
- CONSTRUCTION SILT FENCE

CONSTRUCTION MANAGEMENT NOTES:

1. THE SITE WILL BE MAINTAINED IN A CLEAN AND ORDERLY FASHION.
2. BIG WELLS ROAD AND ROW AREA WILL BE KEPT CLEAN OF MUD AND CONSTRUCTION DEBRIS.
3. THERE WILL BE NO BURIAL OF CONSTRUCTION PRODUCTS OR DEBRIS.
4. THERE WILL BE NO STORAGE OF HAZARDOUS MATERIALS OR FUEL ON PARCEL WITHOUT PROPER SPILL CONTAINMENT IN PLACE.
5. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
6. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.

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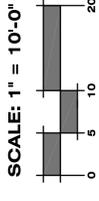
STAKING PLAN

KELTER RESIDENCE LOTS 4 & 5 PROSPECTOR WELLS SUB.

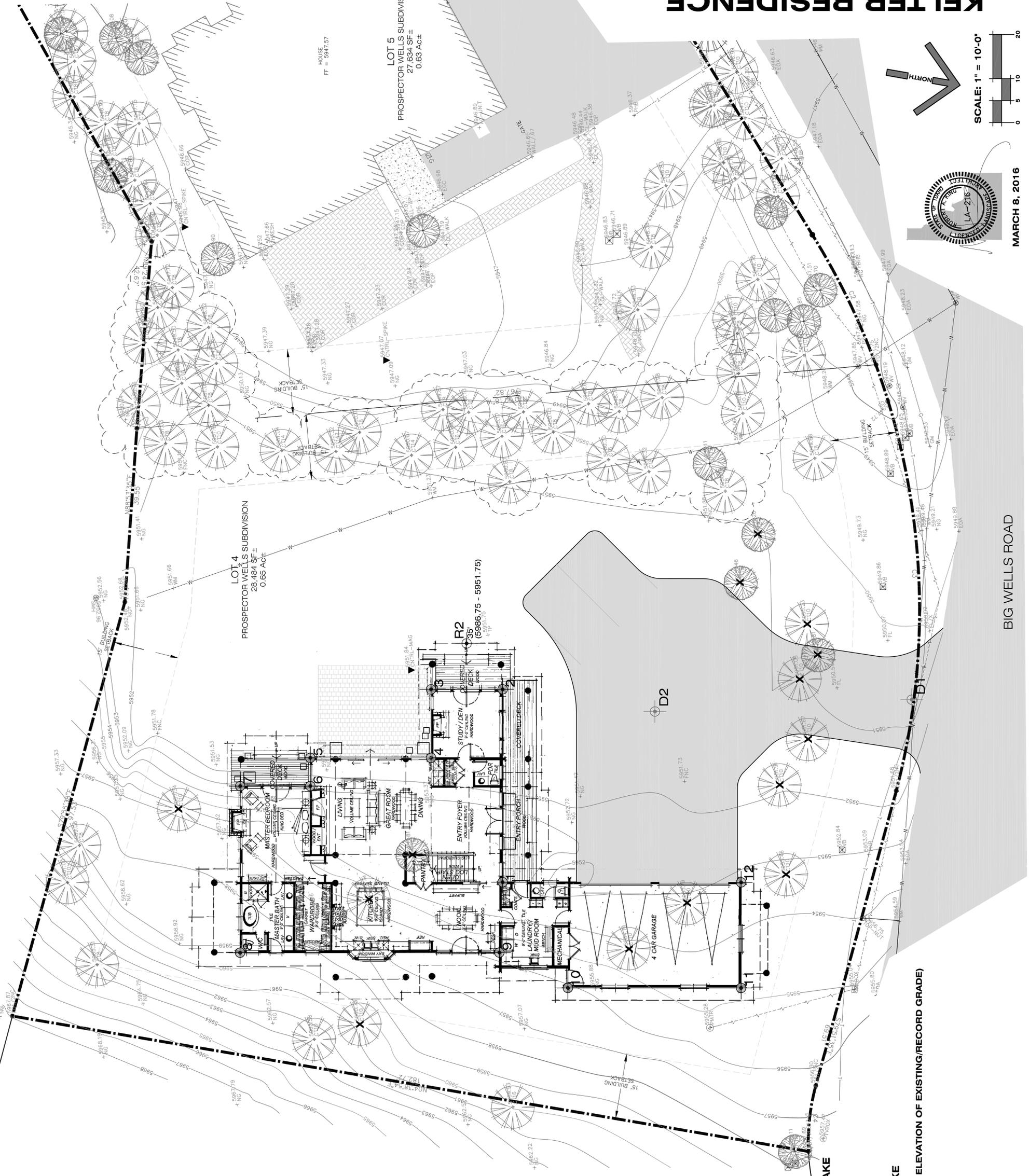
SHEET
L-5

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SUN VALLEY, IDAHO

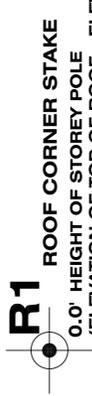
MARCH 8, 2016



BIG WELLS ROAD



STAKING LEGEND



HOUSE
FF = 5947.57

LOT 5
PROSPECTOR WELLS SUBDIV:
27,634 SF±
0.63 AC±

LOT 4
PROSPECTOR WELLS SUBDIVISION
28,484 SF±
0.65 AC±

R2
R35
(5986.75 - 5951.75)

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STONE SLAB STEPS



FLAGSTONE



BOULDERS + RETAINING



LICHEN SANDSTONE



QUAKING ASPEN



WATER FEATURE



FESCUE GRASSES



FESCUE SOD



DOUGLAS FIR



SUBALPINE FIR



GINNALA MAPLE



PAVERS

MEGA-BERGERAC®
 Pattern G

14.25" x 14.25" Large Square 26.55%
 14.25" x 14.25" Small Square 21.55%
 14.25" x 14.25" Rectangle 21.55%
 14.25" x 14.25" Small Rectangle 30.35%

Minimum Order: 100 sq. ft.

14.25" x 14.25" Large Square with assembly

Belgard
 THE PAVING AUTHORITY

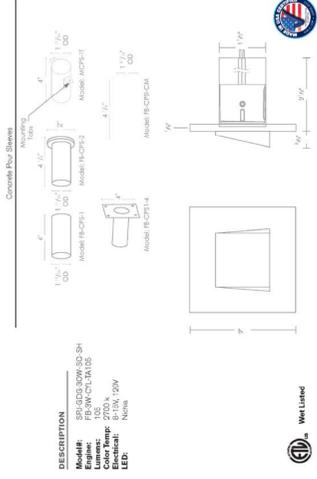
800.929.7674

PAVER PATTERN



Forever Bright
 SPECIFICATION FEATURES

Finish: Die Cast Aluminum, Powder Coat, White, Black, or Custom Color
 Electrical: Individually tested for consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind."
 Available in: 120V
 Model: SFI-400-30W-SQ-SH
 Finish: PVD Graphite



ORDERING INFORMATION

Model#	SFI-400-30W-SQ-SH	Electrical	120V
Finish	PVD	Lumens	105
Wattage	3W	Color Temp.	2700K
LED	Yes	Beam Angle	120°
Warranty	5 Year	Material	Aluminum
Weight	0.5 lbs	Material	Aluminum
Height	1.5" (Max)	Material	Aluminum
Depth	1.5" (Max)	Material	Aluminum
Width	1.5" (Max)	Material	Aluminum

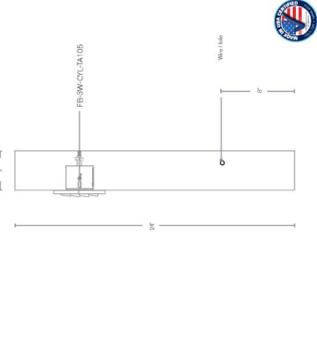
WWW.SPILIGHTING.COM

STEP LIGHT



Forever Bright
 SPECIFICATION FEATURES

Finish: Die Cast Aluminum, Powder Coat, White, Black, or Custom Color
 Electrical: Individually tested for consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind."
 Available in: 120V
 Model: SFI-500-24-L
 Finish: Direct Burial



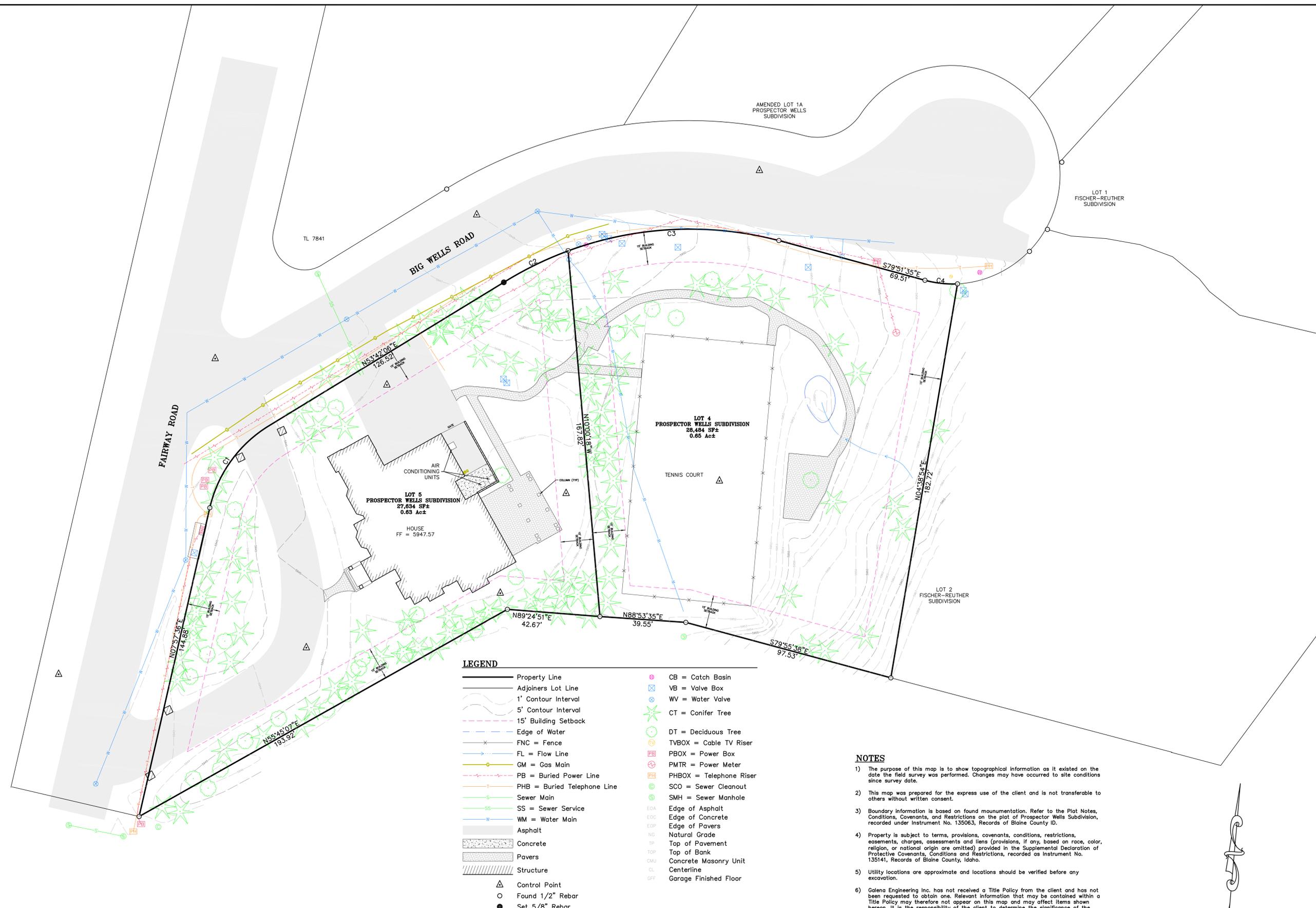
ORDERING INFORMATION

Model#	SFI-500-24-L	Electrical	120V
Finish	Direct Burial	Lumens	105
Wattage	3W	Color Temp.	2700K
LED	Yes	Beam Angle	120°
Warranty	5 Year	Material	Aluminum
Weight	0.5 lbs	Material	Aluminum
Height	1.5" (Max)	Material	Aluminum
Depth	1.5" (Max)	Material	Aluminum
Width	1.5" (Max)	Material	Aluminum

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PATH LIGHT

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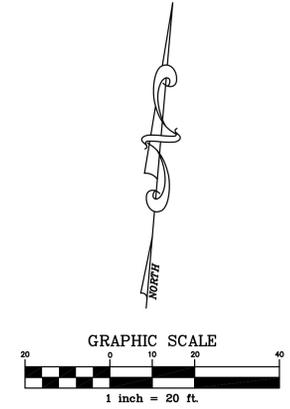
LEGEND

—	Property Line	⊗	CB = Catch Basin
---	Adjoiners Lot Line	⊠	VB = Valve Box
...	1' Contour Interval	⊕	WV = Water Valve
...	5' Contour Interval	⊗	CT = Conifer Tree
---	15' Building Setback	⊙	DT = Deciduous Tree
---	Edge of Water	⊕	TVBOX = Cable TV Riser
---	FNC = Fence	⊠	PBOX = Power Box
---	FL = Flow Line	⊕	PMTR = Power Meter
---	GM = Gas Main	⊕	PHBOX = Telephone Riser
---	PB = Buried Power Line	⊕	SCO = Sewer Cleanout
---	PHB = Buried Telephone Line	⊕	SMH = Sewer Manhole
---	Sewer Main	⊕	Edge of Asphalt
---	SS = Sewer Service	⊕	EOC = Edge of Concrete
---	WM = Water Main	⊕	EOP = Edge of Pavers
---	Asphalt	⊕	NG = Natural Grade
---	Concrete	⊕	TP = Top of Pavement
---	Pavers	⊕	TOP = Top of Bank
---	Structure	⊕	CMU = Concrete Masonry Unit
△	Control Point	⊕	CL = Centerline
○	Found 1/2" Rebar	⊕	GFF = Garage Finished Floor
●	Set 5/8" Rebar		

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD DIRECTION
C1	47.30'	59.52'	24.98'	45°32'12"	46.07'	S 30°49'51" W
C2	32.90'	162.41'	16.51'	11°36'30"	32.85'	S 59°02'13" W
C3	98.47'	162.41'	50.80'	34°44'14"	96.96'	S 82°12'36" W
C4	15.10'	50.00'	7.61'	17°18'07"	15.04'	S 88°40'54" E

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date.
 - This map was prepared for the express use of the client and is not transferable to others without written consent.
 - Boundary information is based on found monumentation. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on the plat of Prospector Wells Subdivision, recorded under Instrument No. 135063, Records of Blaine County ID.
 - Property is subject to terms, provisions, covenants, conditions, restrictions, easements, charges, assessments and liens (provisions, if any, based on race, color, religion, or national origin are omitted) provided in the Supplemental Declaration of Protective Covenants, Conditions and Restrictions, recorded as Instrument No. 135141, Records of Blaine County, Idaho.
 - Utility locations are approximate and locations should be verified before any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is the sewer manhole rim northeast of the Fairway Road and Big Wells Road intersection. Elevation = 5945.80.



A TOPOGRAPHIC SURVEY FOR

LOTS 4 & 5, PROSPECTOR WELLS SUBDIVISION

LOCATED WITHIN SECTION 8, T.4 N., R.18 E., B.M., CITY OF SUN VALLEY, BLAINE COUNTY, IDAHO
PREPARED FOR INTERMOUNTAIN CONSTRUCTION/THE JARVIS GROUP

PROJECT INFORMATION
P: \sds\proj\7211\dwg\Topo\7211_Topo_20.sd.dwg 3/7/2016 3:12:33 PM MST

DESIGNED BY	DATE
RL	03/07/16
DRAWN BY	DATE
SMF	03/07/16
CHECKED BY	DATE

REUSE OF DRAWINGS
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by permission of Galena Engineering, Inc.

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
Hailey, Idaho 83433
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

NO	DATE	BY	REVISIONS

TOPO